

**RESOLUTION NO. 2011-02**

**APPROVAL OF FINAL PLAT OF SUBDIVISION, DEVELOPMENT AGREEMENT, AND PROTECTIVE COVENANTS AND RESTRICTIONS, FOR VISTAS DE PLATA, AN AFFORDABLE HOUSING SUBDIVISION, CONSISTING OF A 27.5 ACRE TRACT OF LAND INTO 56 PARCELS RANGING IN SIZE FROM 2,500 SQUARE FEET TO 5,000 SQUARE FEET. THE TRACT OF LAND CONSISTS OF RECENTLY VACATED PORTIONS OF REYNOLDS STREET, NEWSHAM STREET, DURANGO STREET, MARKET STREET, KELLY STREET, 6<sup>TH</sup> STREET, 7<sup>TH</sup> STREET, 8<sup>TH</sup> STREET, COLLEGE STREET, 10<sup>TH</sup> STREET, AND ALL OF BLOCKS 114, 115, 116, 117, 118, 119, 150, 151, 152, 153, 154, 155, 188, 189, 190, 191, AND 192, INCLUDING PART OF BLOCKS 218 AND 219, SECTION 2 OF THE FRASER SURVEY. THE APPLICANT IS THE TOWN OF SILVER CITY.**

**WHEREAS**, this is a final plat for the subdivision of a 27.5 acre tract into 56 parcels ranging in size from 2,500 square feet to 5,000 square feet; and

**WHEREAS**, the subdivision will be constructed on undeveloped land owned by the Town of Silver City east of the historic downtown district, roughly bounded by 10<sup>th</sup> Street to the north, Kelly Street to the south, Mountain View to the east and Durango Street to the west; and

**WHEREAS**, the subdivision will be constructed in four separate phases containing approximately 14 homes in each phase; and

**WHEREAS**, the subdivision will not have a negative effect on Town services, based on Departmental Review, a Drainage Study, a Traffic Impact Analysis, a Street Review, a Utilities Analysis, and an Engineering Report; and

**WHEREAS**, the land is zoned Residential-B and will continue to conform to this zoning; and

**WHEREAS**, the subdivision is within Town limits; and

**WHEREAS**, the subdivision fills a critical, workforce housing need in the Town; and

**WHEREAS**, the Declaration of Protective Covenants and Restrictions are attached as Exhibit "A"; and

**WHEREAS**, the Development Agreement is attached as Exhibit "B"; and

**WHEREAS**, the Town Council hereby makes the following findings:

1. The proposed subdivision furthers the goals and policies of the Town's Comprehensive Plan;

2. The proposed subdivision complies with the standards and design requirements of the Town of Silver City's Land Use Code;
3. The proposed subdivision provides a water supply system that is sufficient in terms of quantity, dependability, and quality to provide an appropriate supply of water for the type of subdivision proposed;
4. The proposed subdivision has made adequate provision for sewage disposal which complies with federal, state and local laws and regulations;
5. The proposed subdivision is compatible with the soil, topography, drainage, and other natural features and physical conditions of the site;
6. The subdivider has the financial ability to complete the proposed subdivision in accordance with all applicable federal, state and local laws and regulations;

**NOW, THEREFORE, BE IT *RESOLVED* by the Town Council of the Town of Silver City, Grant County, New Mexico that:**

1. The Town Council of the Town of Silver City approves the Final Plat of Subdivision for Vistas de Plata, subject to the following conditions:
  - A. The approval is subject to continuous review of the safety issues incidental to the design and construction of the detention and retention ponds associated with the drainage.
  - B. The applicant will need to make the improvements to the 10<sup>th</sup> Street/Mountain View Road intersection recommended in the Traffic Impact Analysis before Phase III begins.
  - C. The applicant will meet the recommendations put forth in the departmental review. These include:
    - 1) The developer will stub the sewer to south at the intersection of Camino de Suenos and Kelly Street;
    - 2) The developer will move manhole #14 to the end of the line and stub the sewer to east and west along 10<sup>th</sup> Street and adjust the slope of pipe 14 and 15 accordingly;
    - 3) The developer will provide pipe size and material on the plan for Utility Department reference;
    - 4) The developer will provide water meter locations on the plan for Utility Department reference;
    - 5) The developer will install water meters within sidewalks and ensure they share common lot lines;
    - 6) The developer will install a street light at the intersection of 10<sup>th</sup> Street and Camino de Suenos for additional safety.

2. The Town Manager is authorized to execute the Declaration of Protective Covenants and Restrictions and the Development Agreement.

**PASSED, APPROVED, AND ADOPTED** this 25th day of January, 2011.

(Seal)

/s/

---

James R. Marshall, Mayor

Attest:

/s/

---

Ann L. Mackie, Town Clerk

## **EXHIBIT A**

### **DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS**

This Declaration made as of this, January 25, 2011 by the Town of Silver City ("Developer"):

#### **RECITALS**

**WHEREAS**, Developer is the owner of the real estate described as:

Vistas de Plata Subdivision, Plat of 27.5 acre tract, in the Office of County Clerk, Grant County, New Mexico; and

**WHEREAS**, Developer wishes by these Protective Covenants and Restrictions (the "Covenants") to preserve and maintain the values and amenities of said Subdivision as a desirable residential and recreational area, to promote the health, peace, comfort and safety and general welfare of Owners, to prevent nuisances and to specify the purposes for which said real estate may be used; and

**WHEREAS**, Developer states that each and all of said Covenants are for the benefit of said real estate and each Owner thereof.

**NOW, THEREFORE**, in consideration of the foregoing, Developer declares that the real property described above shall be held, occupied, used, sold and conveyed subject to the Covenants.

#### **ARTICLE I**

Section 1. The following words, when used in this Declaration or any Supplemental Declaration (unless prohibited by the context thereof), shall have the following meanings:

- a. "Developer" shall mean and refer to the undersigned owner of the above-described real estate, being a Charter City as per New Mexico law.
- b. "Dwelling" shall mean and refer to any portion of a building situated upon the Property designed and intended for use and occupancy as a residence.
- c. "HUD" shall mean United States Department of Housing and Urban Development.
- d. "Lot" shall mean and refer to any plot of land shown upon the recorded Subdivision map or any additional subdivision(s) map(s) hereafter filed by Developer.
- e. "Owner" shall mean and refer to the recorded owner, whether one or more persons, of the fee simple title to any Lot or Dwelling situated upon the Properties, but shall not mean or refer to a mortgagee unless and until such mortgagee has acquired title pursuant to foreclosure or any proceeding in lieu of foreclosure.
- f. The "Property" shall mean and refer to all such properties subject to this Declaration (or any Supplemental Declaration) under the provisions of Article II hereof.

g. "Single Family Residential Lot" shall mean and refer to any Lot zoned for Single Family or duplex Residential and burdened by these Covenants.

h. "Subdivision" shall mean and refer to Vistas de Plata Subdivision, Silver City, New Mexico, according to the recorded plat thereof, and such additional subdivision(s) as may hereafter be included by Developer under these Covenants.

i. "Xeriscaping" shall mean landscaping using plants or trees requiring little or no water use. Examples would be cacti, colored or natural rock or stone, wood chips etc.

## **ARTICLE II**

### **PROPERTY SUBJECT TO THIS DECLARATION**

Section 1. All of the real estate described above or hereafter added by Supplemental Declaration of Developer shall be held, occupied, used, sold and conveyed subject to these Covenants.

## **ARTICLE III**

### **BUILDING RESTRICTIONS**

Section 1. Single Family Residential Lots shall be used only for single family residence purposes, including garages.

Section 2. No Single Family Residential Lot will be occupied or used for other than single family residential purposes, and no Single Family Residential Lot or dwelling will be occupied or used for Such residential purposes in a density greater than one single family residence for each Single Family Residential Lot, unless a lot is designated for a duplex.

Section 3. No lot shall be used as a building site for a residential structure if the lot has been reduced in area below its originally platted size.

Section 4. Any structure comprising a single family residence shall consist of a detached dwelling designed to accommodate a single person or one family group, together with household employees. Any modifications to the single family residence shall meet zoning guidelines and will be in compliance with the following restrictions:

a. No dwelling, garage or building shall be built, altered, constructed or maintained, on any lot unless it conforms to these Covenants and unless the Owner first obtains the express written approval for such construction from Developer, which approval shall not be unreasonably withheld. Any construction shall conform to the general appearance, exterior color or colors, harmony or external design and location in relation to surroundings and

topography and other relevant architectural factors, location within lot boundary lines, quality of construction, size and suitability for residential purposes of such single-family residence. Under no circumstances, shall any garage or carport be converted to living area.

b. All building plans and specification, including elevations and grading, for any building or structure to be placed or erected upon any Lot, and the proposed location thereof upon any Lot, and any changes after approval thereof, or any addition thereto shall require the prior approval in writing of the Developer. Before beginning any construction there shall be submitted to the Developer two complete sets of building plans and specifications. No structure of any kind, the plans, elevations, and specifications of which have not received the written approval of the Developer, and which does not comply with such approved plans and specifications, shall be erected, constructed, placed or maintained upon any lot. The Developer shall not be responsible for any defects in such plans or specifications or in any building or structure constructed according to such plans and specifications.

c. The minimum sizes of single family residential dwellings to be built on each respective Lot is stated in Exhibit "A" attached hereto and by this reference incorporated herein.

d. All single family dwellings shall have attached garages or carports. Two stall garages shall have two (2) stalls ten (10) feet by twenty (20) feet each except for duplexes, single stall garages shall be ten (10) feet by twenty (20) feet. All garages must be constructed to conform to the general appearance, composition and design of the single family dwelling. No parking shall be allowed in the front yard except in the driveway directly in front of the garage. Carports must include enclosed storage of eight (8) by ten (10) feet.

e. No detached storage building, sheds or other outbuildings are allowed in the front and side yards of any lot. Outbuildings including storage buildings and sheds may be constructed in the rear of a lot but shall be constructed of quality materials, with the exterior thereof continually constructed and maintained to aesthetically conform to the residence and surrounding dwellings. Every dwelling place on a lot shall be erected on the site and the exterior finish thereof shall be of stucco, brick, masonry, stone, conventional wood siding or other material of equal quality and grade. No form of concrete block shall be allowed for facing on any dwelling.

f. All costs for the construction and maintenance of any fences or walls are to be shared equally by the owners of the lots which the fence or walls divide, including graffiti removal.

g. Each dwelling shall have an all weather surface driveway of a minimum width to accommodate the garage or carport. The driveway shall be installed at the time of the construction of the dwelling. Sufficient off-street parking for all vehicles owned by residents shall be constructed of asphalt, concrete, laid stone compacted crusher fines or gravel materials. On street parking is not allowed.

h. Heat pump, solar devices, chimney flues, hot tub pumps, swimming pool pumps and filtration systems, and similarly exposed mechanical equipment, shall be shielded in such a manner as to minimize noise and safety concern.

i. No building or dwelling house shall be moved into the Subdivision and placed upon a Lot. No modular or two-piece structure shall be placed or constructed upon a Lot. No trailer, camper, mobile home, motor home, tent, garage, shack, metal building or unsightly building shall be used in the Subdivision as a dwelling at any time, nor shall any structure of a temporary character be used as a residence.

j. No mercury or sodium vapor exterior lighting shall be installed on any Lot. All exterior lighting shall be designed so that there is no light trespass on neighboring properties.

k. The developer shall provide xeriscaping in the area between the sidewalk and the back of the curb and this area shall be maintained by the property owner. Each Owner, after moving into a newly-constructed dwelling, shall xeriscape the yard directly in front of the front building line and bordered by the side and front property boundaries in the nearest growing season, either spring or fall, and shall keep the landscaping properly watered, mowed, pruned, clipped and free from noxious weeds, rubbish, trash or junk of any kind, including but not limited to dead vegetation, bracing and protective coverings used in flower beds and gardens which shall be removed or composted, as appropriate, and shall not remain in place beyond its use and usefulness.

l. Animals may only be kept, in accordance with the Town of Silver City ordinances.

m. No playground equipment or swimming pools are allowed in the front yard of any home.

n. Only patio type furniture is allowed on front porches or decks.

Section 5. After commencement thereof, all approved or permitted construction on any lot will be undertaken as diligently as practicable and carried on to completion. No approved or permitted construction will be maintained on any Lot in uncompleted or, unfinished condition for more than twelve (12) months after such approval is obtained. No structure shall be occupied as a residence until all exterior construction is complete according to approved plans and a certificate of occupancy is issued to the owner.

## **ARTICLE IV**

### **COMMON SCHEME RESTRICTIONS**

Section 1. The following restrictions are imposed upon the Properties for the benefit of all other lots and may be enforced by Developer or any Owner.

a . No garbage, refuse or cuttings shall be deposited on any street or accumulated on any lot unless placed in a suitable container. Any such refuse containers must be stored or maintained in an enclosed structure or garage so as to not be in public view except on regularly scheduled solid waste pickup days, according to the Town ordinance. No exterior burner or incinerator for garbage, trash or other refuse shall be maintained on any Lot.

b. No building materials of any kind or character shall be placed upon any Lot, except in connection with construction approved pursuant to Article III of these Covenants. As soon as approved building materials are placed on any Lot, construction shall be promptly commenced and diligently prosecuted. Upon completion of such construction, debris shall be promptly removed.

c. No driveway will be constructed or maintained in a way that causes erosion or water damage to other Lots or roadways in the Subdivision. All Lot owners shall provide and maintain proper facilities to reasonably control storm water run-off onto adjacent properties and to insure that sediments do not enter the natural drainage system.

d. All lines or wires for telephone, power, cable television, or otherwise shall be placed underground and no such wires shall be showing on the exterior of any building unless the same shall be underground or in a conduit attached to a building. No exposed or exterior radio or television transmission or receiving antennas, dishes, discs or other receiving equipment shall be erected, placed, or maintained on any part of such premises; but this restriction may "be waived by the Developer", and it shall not apply to satellite dishes or discs with a radius of less than 24 inches. Any waiver of these restrictions shall not constitute a waiver as to other lots or lines or antennas.

e. The elevation of a Lot shall not be changed so as to materially affect the surface elevation or grade of the surrounding Lots.

f. No automobile, motorcycle, truck or other vehicle shall be repaired, dismantled, or stored on any lot, except in a garage.

g. No advertising signs shall be maintained on any lot, except a sign advertising an owner's lot for sale if said sign is not larger than four (4) square feet. Political signs are allowed in accordance with the Town's sign ordinance.

h. No unused building materials may be kept, stored or otherwise maintained on any lot within public view, other than for use connected with approved or permitted construction. No junk or salvage materials may be kept, stored, or otherwise maintained on any lot.

i. No weeds, underbrush, dead trees, shrubbery or other unsightly growths shall be permitted to grow or remain upon a Lot and no refuse pile or unsightly objects shall be allowed to be placed or suffered to remain anywhere thereon. All rubbish, trash and garbage shall be removed from the Subdivision and shall not be burned by open fire, incinerator or otherwise in the Subdivision.

j. No trucks over one (1) ton hauling capacity, step vans, trailers or tractors will be allowed to park on private drives or Subdivision roadways, except for furniture vans, moving personal items into or out of the subdivision.

k. No commercial enterprise or manufacturing of any kind shall be conducted on the Property, nor shall any Lot be used for other than residential purposes. This restriction shall not be construed, however, to prevent the maintenance of in home business activities of a type usually conducted in residential areas and allowed under Town of Silver City ordinances.

l. No dwelling or any portion thereof in the Subdivision shall be leased, subleased, occupied, rented, sublet, or used as an apartment house or boarding house, but should be used exclusively as an owner-occupied private residence.

m. Propane tanks are not allowed to be placed on the property except for personal bar-be-cues.

## ARTICLE V

### AFFORDABILITY PERIOD

Section 1. If any home is sold, it must be sold to persons or a family with income no greater than one hundred and twenty percent of the AMI as determined by HUD's current HOME income requirements.

- A. If the fair market value of any Housing Assistance Grant or the total amount of Affordable Housing Funds that have been awarded, loaned, donated, or otherwise conveyed to the Qualifying Grantee is from \$1 to \$14,999, then the Affordability Period shall be not less than five (5) years. If a home is sold within five years following purchase, it must be sold to persons or family making no greater than one hundred and twenty percent of AMI.
- B. If the fair market value of any Housing Assistance Grant or the total amount of Affordable Housing Funds that have been awarded, loaned, donated, or otherwise conveyed to the Qualifying Grantee is from \$15,000 to \$39,000, then the Affordability Period shall be not less than ten (10) years. If a home is sold within ten years following purchase, it must be sold to persons or family making no greater than one hundred and twenty percent of AMI.
- C. If the fair market value of any Housing Assistance Grant or the total amount of Affordable Housing Funds that have been awarded, loaned, donated, or otherwise conveyed to the Qualifying Grantee is from \$40,000 to \$99,999, then the Affordability Period shall be not less than ten (15) years. If a home is sold within fifteen (15) years following purchase, it must be sold to persons or family making no greater than one hundred and twenty percent of AMI.

## **ARTICLE VI**

### **DURATION**

Section 1. These Covenants shall run with and bind the land and shall inure to the benefit of and be enforceable by Developer or the Owner of any Lot subject to this Declaration, their respective legal representatives, heirs, successors and assigns from the date this Declaration is recorded and until 12:00 a.m. on January 1, 2021, after which time said Covenants shall be extended automatically for successive periods of ten (10) years, unless an instrument terminating these Covenants has been signed by the Owners of two-thirds (2/3) of the Lots and the developer and has been duly filed of record in the Office of the County Clerk, Grant County, New Mexico.

## **ARTICLE VII**

### **ENFORCEMENT**

Section 1 Developer or any Owner shall have the right to enforce, by any proceeding at law or in equity, all restrictions, conditions, covenants, easements, reservations, liens, and charges now or hereafter imposed by the provisions of these Covenants. Failure by any such party to enforce any covenant or restriction contained in these Covenants shall in no event be deemed a waiver of the right to do so at a later date.

Section 2. Any conveyance, contract, lease or action in violation of these Covenants shall be voidable and may be set aside on petition of one or more of the owners of lots in said subdivision, or their successors and assigns, who shall be deemed parties to the same effect as the original signer. When such instrument or action is set aside by a court of competent jurisdiction, all costs and expenses of such proceedings, including attorney's fees to the extent allowed by law, shall be taxed against the offending party or parties and shall be declared by the court to constitute a lien against the real estate so wrongfully deeded, sold, leased or conveyed until paid and such lien may be enforced in such manner as the court may order.

Section 3. The invalidity of any of these covenants or restrictions, or inapplicability thereof as to any lot encompassed within these Covenants, by judgment or court order shall in no way affect the validity of the Covenants and Restrictions remaining or their applicability as to the lots remaining subject thereto.

**IN WITNESS WHEREOF**, the undersigned Developer has executed these Covenants the day and year first written above.



## **EXHIBIT B**

### **DEVELOPMENT AGREEMENT**

THIS AGREEMENT is made by the Town of Silver City for an Affordable/Workforce Housing development with the Town as the developer.

**WHEREAS**, The Town/Developer is in the process of completing a subdivision known as Vistas de Plata (“Subdivision”); and

**WHEREAS**, this is a 56-lot residential subdivision located within the Town boundary; and

**WHEREAS**, the Town will provide water and sewer service to these 56 lots and will maintain the water and sewer infrastructure under the terms and conditions of this agreement and the final plat approved by the Town;

**THE PARTIES HEREBY AGREE AS FOLLOWS:**

The recitals mentioned above are material representations and are incorporated in the mutual promises made below.

1. The Town/Developer agrees to complete all water and sewer infrastructure for the Subdivision as denoted in the final plat and approved construction drawings of the Subdivision unless otherwise approved by the Town Engineer.
2. The Town/Developer shall remain primarily liable under this Agreement to ensure that the water and sewer improvements required to be constructed are completed within one year of the approval for Phase 1a and 1b of this development. The Town is in receipt of grant funds to cover the cost of developing the infrastructure for Phase 1a and 1b of Vistas de Plata subdivision. Upon final approval of this development by the Town Council, the Town may proceed to construct said improvements as denoted on the final plat.
3. The Town will provide maintenance of the drainage and open space facilities shown on the final plat and the parking lots within the subdivision. Parking lots as indicated on the final plat are Lot 7, Phase 1a, Lot 14, Phase 1b, Lot 39, Phase 2. Lot 18, Phase 3, Lot 52, Phase 4.
4. The property owners will be responsible for maintaining all of their property plus that portion of the right of way situated between the sidewalk and the back of the curb.
5. No water taps, sewer taps, or building permits will be issued to any of the 56 lots in Vistas de Plata Subdivision until the Town Engineer has accepted the water and sewer main extensions on the property into the Town’s utility system.
6. This Agreement shall be binding on the parties, their respective successors in interest, heirs, assigns, executors, administrators and legal representatives. The provisions of this Agreement constitute covenants running with each lot, respectively, within the Developer’s



# FINAL PLAT SUBMITTAL

## SITE DEVELOPMENT PLANS

### VISTAS DE PLATA

# AFFORDABLE HOUSING SUBDIVISION

## SILVER CITY, NEW MEXICO



VICINITY MAP

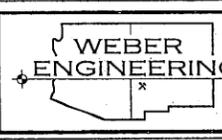
INDEX OF SHEETS	
C1-1	COVER SHEET
C1-2	SITE OVERVIEW
C2-1	TYPICAL ROAD SECTIONS--KELLY ST., CAMINO DE SUEÑOS
C2-2	TYPICAL ROAD SECTIONS--10TH STREET
C2-3	DRIVE PAD, SIDEWALK CHANNEL DETAILS
C2-4	CURB AND GUTTER, RUNDOWN DETAILS
C3-1	KELLY STREET AND UTILITY PLAN AND PROFILE
C3-2	DURANGO SEWER PLAN AND PROFILE
C3-3 TO C3-5	CAMINO DE SUEÑOS STREET AND UTILITY P&P
C3-6	10TH STREET AND UTILITY PLAN AND PROFILE
C4-1	SITE GRADING OVERVIEW
C4-4	POND DETAILS--PONDS 1, 2, 3
C4-5	POND DETAILS--POND 4, DRAINAGE RELIEF PONDS
C4-6	CAMINO DE SUEÑOS STRUCTURE SECTIONS
C4-8	POND, RIPRAP, CONCRETE RUNDOWN, CONCRETE CHANNEL DETAILS
C4-9	GABION WEIR, STANDPIPE TRASH RACK DETAILS
C5-1	WATER DISTRIBUTION SYSTEM -- NORTH
C5-2	WATER DISTRIBUTION SYSTEM -- SOUTH
C5-3	LIGHTING PLAN -- NORTH
C5-4	LIGHTING PLAN -- SOUTH
C5-5	LIGHTING DETAILS
C5-6	WATER DETAILS, WATER/SEWER TRENCHING DETAILS
C5-7	SEWER DETAILS
C5-8	OTHER UTILITIES -- NORTH
C5-9	OTHER UTILITIES -- SOUTH
C5-10	OTHER UTILITY DETAILS, TRENCHING DETAILS

P:\PROJECTS\080409\PLANS\C1-1.DWG

7/23/10	DATE
	REVISIONS

VISTAS DE PLATA  
AFFORDABLE HOUSING  
SILVER CITY, NEW MEXICO  
TOWN OF SILVER CITY

WEBERENG@SIGNALPEAK.NET  
(575) 388-2082  
  
P.O. BOX 5132  
SILVER CITY, NM 88062



COVER SHEET

C1-1  
SHEET



**1** SUBDIVISION OVERVIEW  
 11x17 SHEET SCALE: 1"=160'  
 24x36 SHEET SCALE: 1"=80'



SITE DATA	
SUBDIVISION ACREAGE:	16.72 ac
LAND USE:	2.74 ac
STREET RIGHT-OF-WAY:	8.04 ac
OPEN SPACE/DRAINAGE:	0.60 ac
COMMUNITY PARKING:	5.34 ac
LOTS:	
LOT SIZES:	
MAX. LOT SIZE:	6999.9 s.f.
MIN. LOT SIZE (SINGLE FAMILY):	5000 s.f.
MIN. LOT SIZE (TOWNHOME):	2725 s.f.
SETBACKS:	
FRONT SETBACK (LOCAL STREET):	10'
FRONT SETBACK (COLLECTOR):	20'
SIDE SETBACK:	5'
REAR SETBACK:	10'
PHASES, TOTAL 81 LOTS, INCLUDING 5 LOTS FOR COMMUNITY PARKING:	
PHASE 1a:	8 LOTS (1 PARKING)
PHASE 1b:	10 LOTS (4 TOWNHOME LOTS, 1 PARKING)
PHASE 2:	15 LOTS (8 TOWNHOME LOTS, 1 PARKING)
PHASE 3:	15 LOTS (8 TOWNHOME LOTS, 1 PARKING)
PHASE 4:	13 LOTS (8 TOWNHOME LOTS, 1 PARKING)

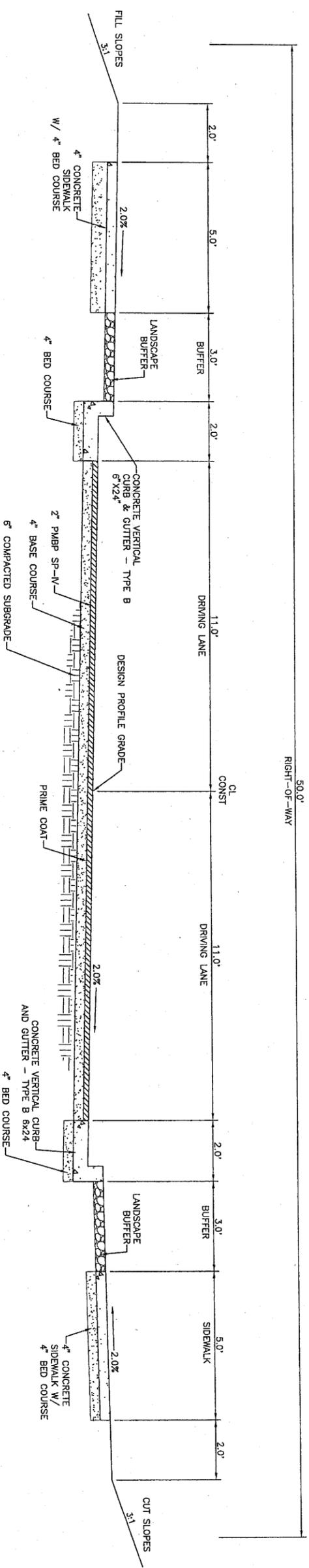
C1-2  
 SHEET

SITE OVERVIEW

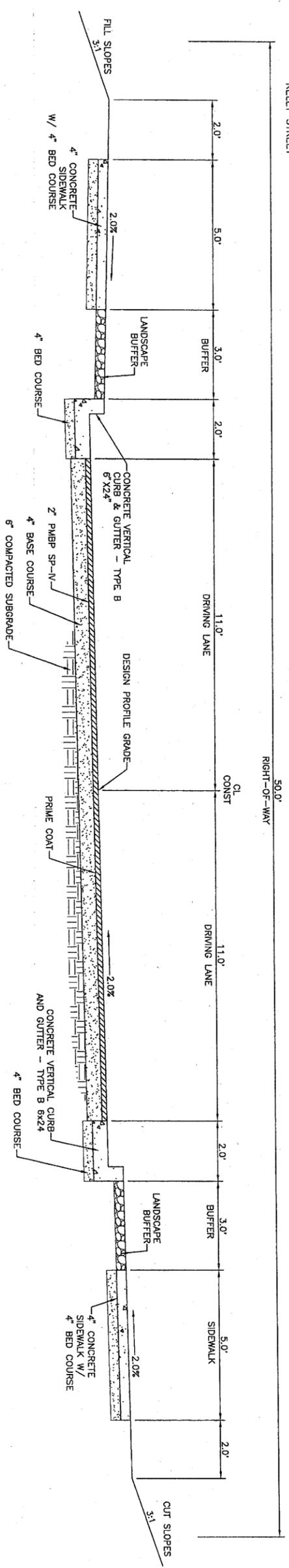
WEBER ENGINEERING  
 WEBERENG@SIGNALPEAK.NET  
 (575) 388-2082  
 P.O. BOX 5132  
 SILVER CITY, NM 88062

VISTAS DE PLATA  
 AFFORDABLE HOUSING  
 SILVER CITY, NEW MEXICO  
 TOWN OF SILVER CITY

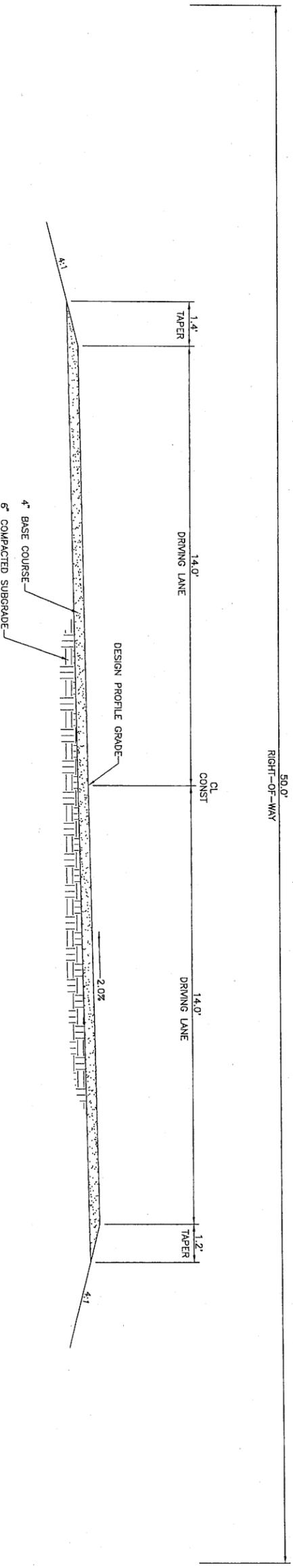
DATE	REVISIONS
7/23/10	



**C1**  
**C2-1** NTS  
**TYPICAL SECTION #1 - CROSS-SLOPE RIGHT ROAD**  
 KELLY STREET



**B1**  
**C2-1** NTS  
**TYPICAL SECTION #2 - CROSS-SLOPE LEFT ROAD**  
 CAMINO DE SUEÑOS

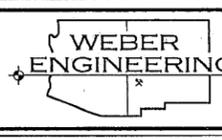


**A1**  
**C2-1** NTS  
**TYPICAL SECTION #2 - TEMPORARY BASE COURSE ROAD**

7/23/10	DATE
	REVISIONS

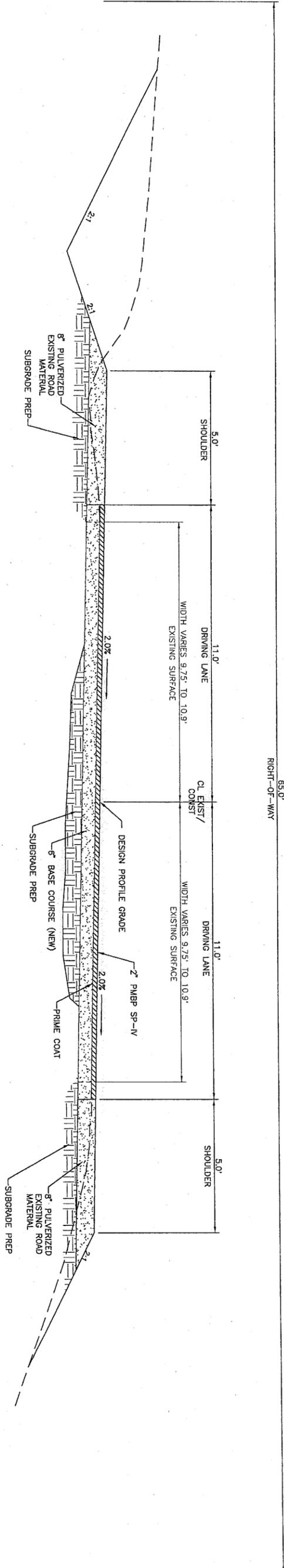
VISTAS DE PLATA  
 AFFORDABLE HOUSING  
 SILVER CITY, NEW MEXICO  
 TOWN OF SILVER CITY

WEBERENG@SIGNALPEAK.NET  
 (575) 388-2082  
 P.O. BOX 5132  
 SILVER CITY, NM 88062



TYPICAL SECTIONS  
 KELLY ST.  
 CAMINO DE SUEÑOS

C2-1  
 SHEET



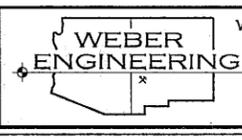
**C1**  
**C2-2**  
TYPICAL SECTION #4 - 10TH STREET  
NTS  
STA 3+00 TO 7+80.39

85.0'  
RIGHT-OF-WAY

7/23/10	DATE
	REVISIONS

VISTAS DE PLATA  
AFFORDABLE HOUSING  
SILVER CITY, NEW MEXICO  
TOWN OF SILVER CITY

WEBERENG@SIGNALPEAK.NET  
(575) 388-2082  
P.O. BOX 5132  
SILVER CITY, NM 88062



TYPICAL SECTIONS  
10TH ST.

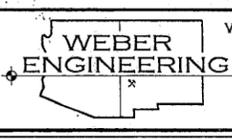
C2-2  
SHEET



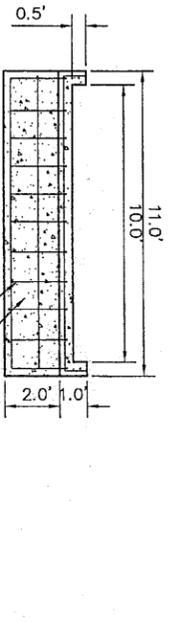
7/23/10
DATE
REVISIONS

VISTAS DE PLATA  
AFFORDABLE HOUSING  
SILVER CITY, NEW MEXICO  
TOWN OF SILVER CITY

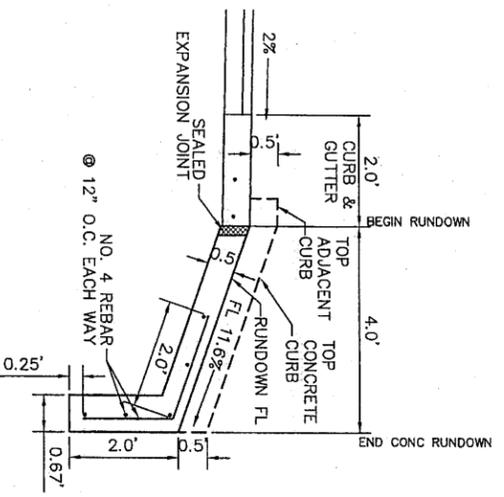
WEBERENG@SIGNALPEAK.NET  
(575) 388-2082  
P.O. BOX 5132  
SILVER CITY, NM 88062



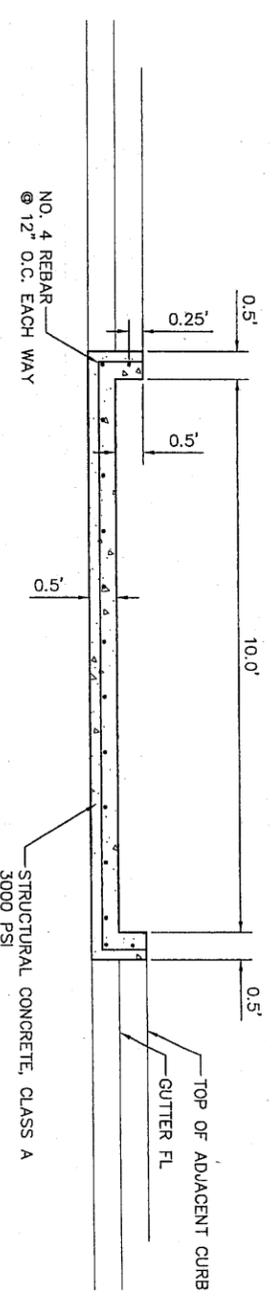
CURB AND GUTTER,  
RUDNOW DETAILS



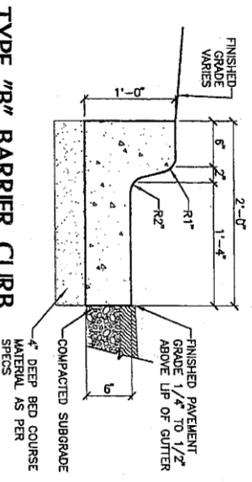
**2 RUNDOWN END VIEW**  
SCALE: NTS



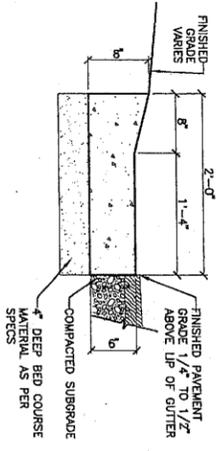
**1 RUNDOWN SECTION**  
SCALE: NTS



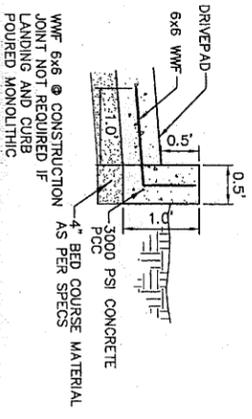
**3 RUNDOWN OPENING AT STREET**  
SCALE: NTS



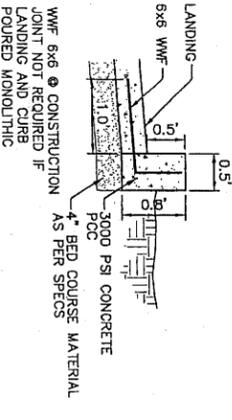
**6 TYPE 'B' BARRIER CURB & GUTTER (6\"/>**



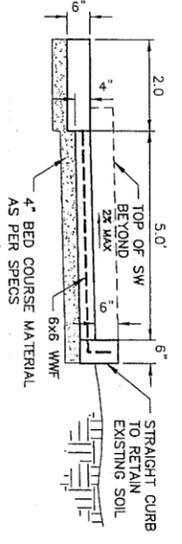
**7 TYPE 'E' LAYDOWN CURB & GUTTER (6\"/>**



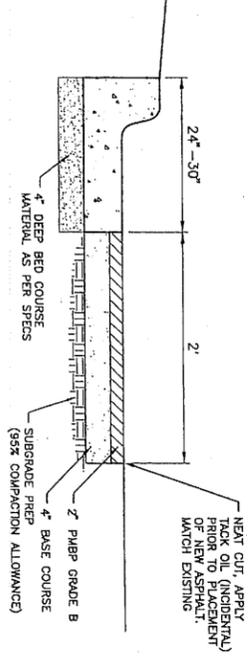
**8 STRAIGHT CURB @ CONCRETE DRIVEPAD**  
SCALE: NTS



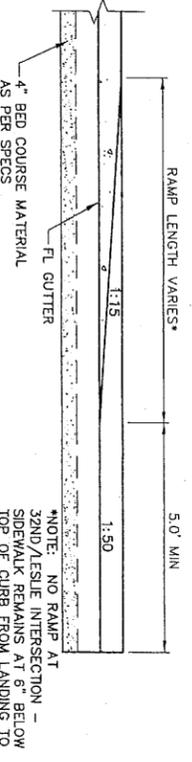
**9 STRAIGHT CURB @ LANDING**  
SCALE: NTS



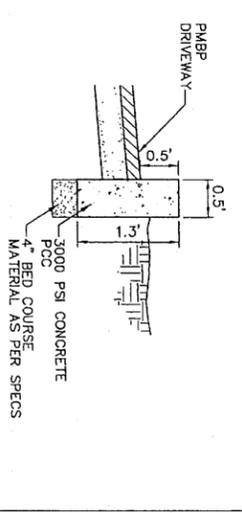
**11 RAMP SECTION**  
SCALE: NTS



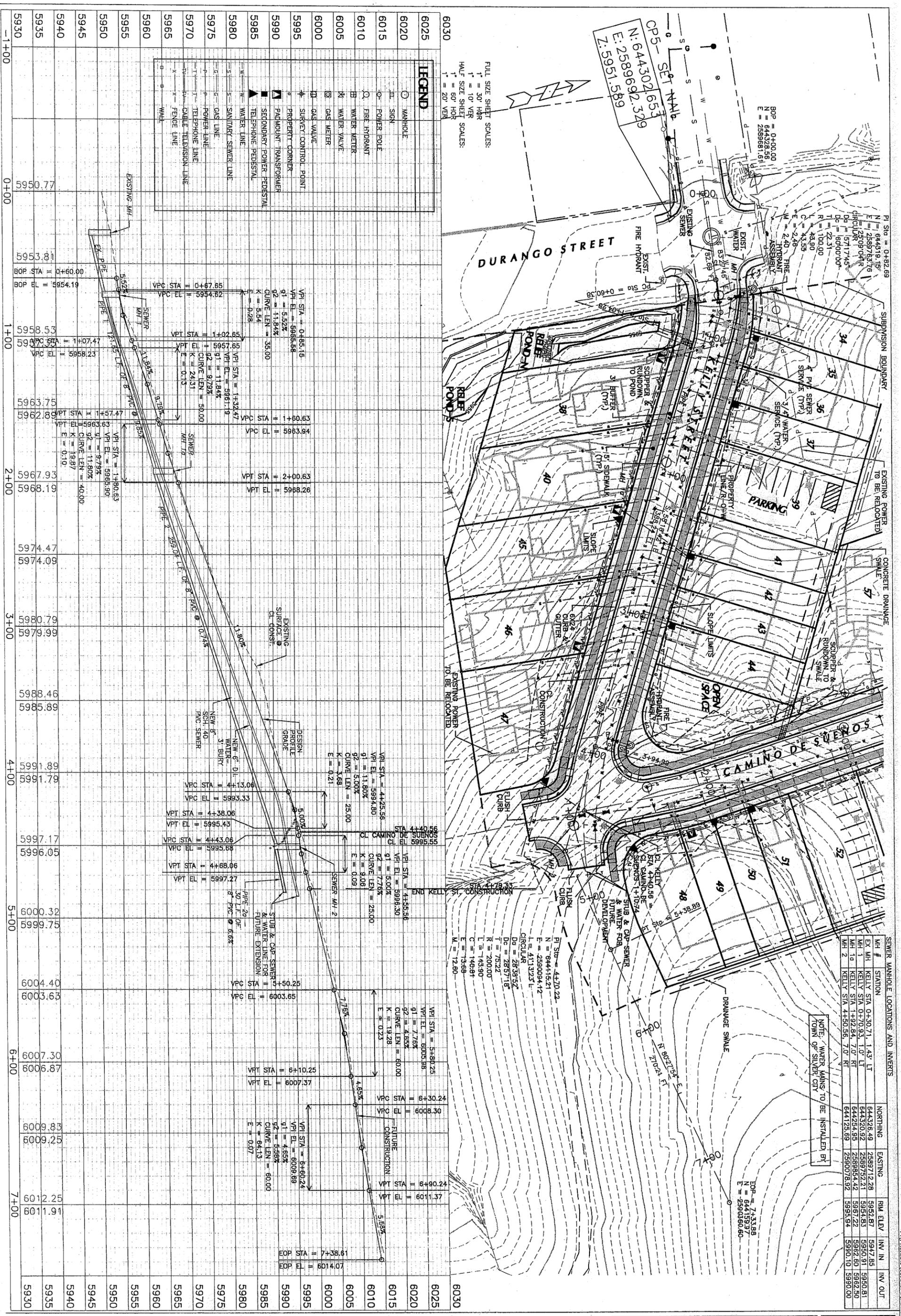
**12 PAVEMENT PATCHWORK DETAIL**  
SCALE: NTS



**10 RAMP DETAIL - ELEVATION (TYP)**  
SCALE: NTS



**13 STRAIGHT CURB @ PMBP DRIVEWAY**  
SCALE: NTS



Station	Elevation
0+00	5950.77
0+10	5953.81
0+20	5958.53
0+30	5962.89
0+40	5967.93
0+50	5968.19
0+60	5974.47
0+70	5974.09
0+80	5980.79
0+90	5979.99
1+00	5988.46
1+10	5985.89
1+20	5991.89
1+30	5991.79
1+40	5997.17
1+50	5996.05
1+60	6000.32
1+70	5999.75
1+80	6004.40
1+90	6003.63
2+00	6007.30
2+10	6006.87
2+20	6009.83
2+30	6009.25
2+40	6012.25
2+50	6011.91
2+60	6014.07
2+70	6011.37
2+80	6008.30
2+90	6003.24
3+00	6000.98
3+10	6000.98
3+20	6000.98
3+30	6000.98
3+40	6000.98
3+50	6000.98
3+60	6000.98
3+70	6000.98
3+80	6000.98
3+90	6000.98
4+00	6000.98
4+10	6000.98
4+20	6000.98
4+30	6000.98
4+40	6000.98
4+50	6000.98
4+60	6000.98
4+70	6000.98
4+80	6000.98
4+90	6000.98
5+00	6000.98
5+10	6000.98
5+20	6000.98
5+30	6000.98
5+40	6000.98
5+50	6000.98
5+60	6000.98
5+70	6000.98
5+80	6000.98
5+90	6000.98
6+00	6000.98
6+10	6000.98
6+20	6000.98
6+30	6000.98
6+40	6000.98
6+50	6000.98
6+60	6000.98
6+70	6000.98
6+80	6000.98
6+90	6000.98
7+00	6000.98

Station	Elevation
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5960	5960
5955	5955
5950	5950
5945	5945
5940	5940
5935	5935
5930	5930

Station	Elevation	Notes
0+00	5954.19	BOP EL = 5954.19
0+67.65	5954.62	VPC STA = 0+67.65
0+67.65	5954.62	VPI EL = 5954.62
0+67.65	5954.62	VPT STA = 0+67.65
0+67.65	5954.62	VPT EL = 5954.62
1+32.47	5963.47	VPC STA = 1+32.47
1+32.47	5963.47	VPI EL = 5963.47
1+32.47	5963.47	VPT STA = 1+32.47
1+32.47	5963.47	VPT EL = 5963.47
1+60.63	5963.94	VPC STA = 1+60.63
1+60.63	5963.94	VPI EL = 5963.94
1+60.63	5963.94	VPT STA = 1+60.63
1+60.63	5963.94	VPT EL = 5963.94
2+00.63	5968.26	VPC STA = 2+00.63
2+00.63	5968.26	VPI EL = 5968.26
2+00.63	5968.26	VPT STA = 2+00.63
2+00.63	5968.26	VPT EL = 5968.26
4+25.56	5994.80	VPC STA = 4+25.56
4+25.56	5994.80	VPI EL = 5994.80
4+25.56	5994.80	VPT STA = 4+25.56
4+25.56	5994.80	VPT EL = 5994.80
4+43.06	5995.68	VPC STA = 4+43.06
4+43.06	5995.68	VPI EL = 5995.68
4+43.06	5995.68	VPT STA = 4+43.06
4+43.06	5995.68	VPT EL = 5995.68
4+68.06	5997.27	VPC STA = 4+68.06
4+68.06	5997.27	VPI EL = 5997.27
4+68.06	5997.27	VPT STA = 4+68.06
4+68.06	5997.27	VPT EL = 5997.27
5+80.25	6003.55	VPC STA = 5+80.25
5+80.25	6003.55	VPI EL = 6003.55
5+80.25	6003.55	VPT STA = 5+80.25
5+80.25	6003.55	VPT EL = 6003.55
6+10.25	6007.37	VPC STA = 6+10.25
6+10.25	6007.37	VPI EL = 6007.37
6+10.25	6007.37	VPT STA = 6+10.25
6+10.25	6007.37	VPT EL = 6007.37
6+30.24	6008.30	VPC STA = 6+30.24
6+30.24	6008.30	VPI EL = 6008.30
6+30.24	6008.30	VPT STA = 6+30.24
6+30.24	6008.30	VPT EL = 6008.30
6+90.24	6011.37	VPC STA = 6+90.24
6+90.24	6011.37	VPI EL = 6011.37
6+90.24	6011.37	VPT STA = 6+90.24
6+90.24	6011.37	VPT EL = 6011.37
7+38.61	6014.07	BOP EL = 6014.07

Station	Elevation
6030	6030
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5960	5960
5955	5955
5950	5950
5945	5945
5940	5940
5935	5935
5930	5930

Station	Elevation
6030	6030
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5960	5960
5955	5955
5950	5950
5945	5945
5940	5940
5935	5935
5930	5930

Station	Elevation
6030	6030
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5960	5960
5955	5955
5950	5950
5945	5945
5940	5940
5935	5935
5930	5930

Station	Elevation
6030	6030
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5960	5960
5955	5955
5950	5950
5945	5945
5940	5940
5935	5935
5930	5930

Station	Elevation
6030	6030
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5960	5960
5955	5955
5950	5950
5945	5945
5940	5940
5935	5935
5930	5930

Station	Elevation
6030	6030
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5960	5960
5955	5955
5950	5950
5945	5945
5940	5940
5935	5935
5930	5930

Station	Elevation
6030	6030
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5960	5960
5955	5955
5950	5950
5945	5945
5940	5940
5935	5935
5930	5930

Station	Elevation
6030	6030
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5960	5960
5955	5955
5950	5950
5945	5945
5940	5940
5935	5935
5930	5930

Station	Elevation
6030	6030
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5960	5960
5955	5955
5950	5950
5945	5945
5940	5940
5935	5935
5930	5930

Station	Elevation
6030	6030
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5960	5960
5955	5955
5950	5950
5945	5945
5940	5940
5935	5935
5930	5930

Station	Elevation
6030	6030
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5960	5960
5955	5955
5950	5950
5945	5945
5940	5940
5935	5935
5930	5930

Station	Elevation
6030	6030
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5960	5960
5955	5955
5950	5950
5945	5945
5940	5940
5935	5935
5930	5930

Station	Elevation
6030	6030
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5960	5960
5955	5955
5950	5950
5945	5945
5940	5940
5935	5935
5930	5930

Station	Elevation
6030	6030
6025	6025
6020	6020
6015	6015
6010	6010
6005	6005
6000	6000
5995	5995
5990	5990
5985	5985
5980	5980
5975	5975
5970	5970
5965	5965
5	

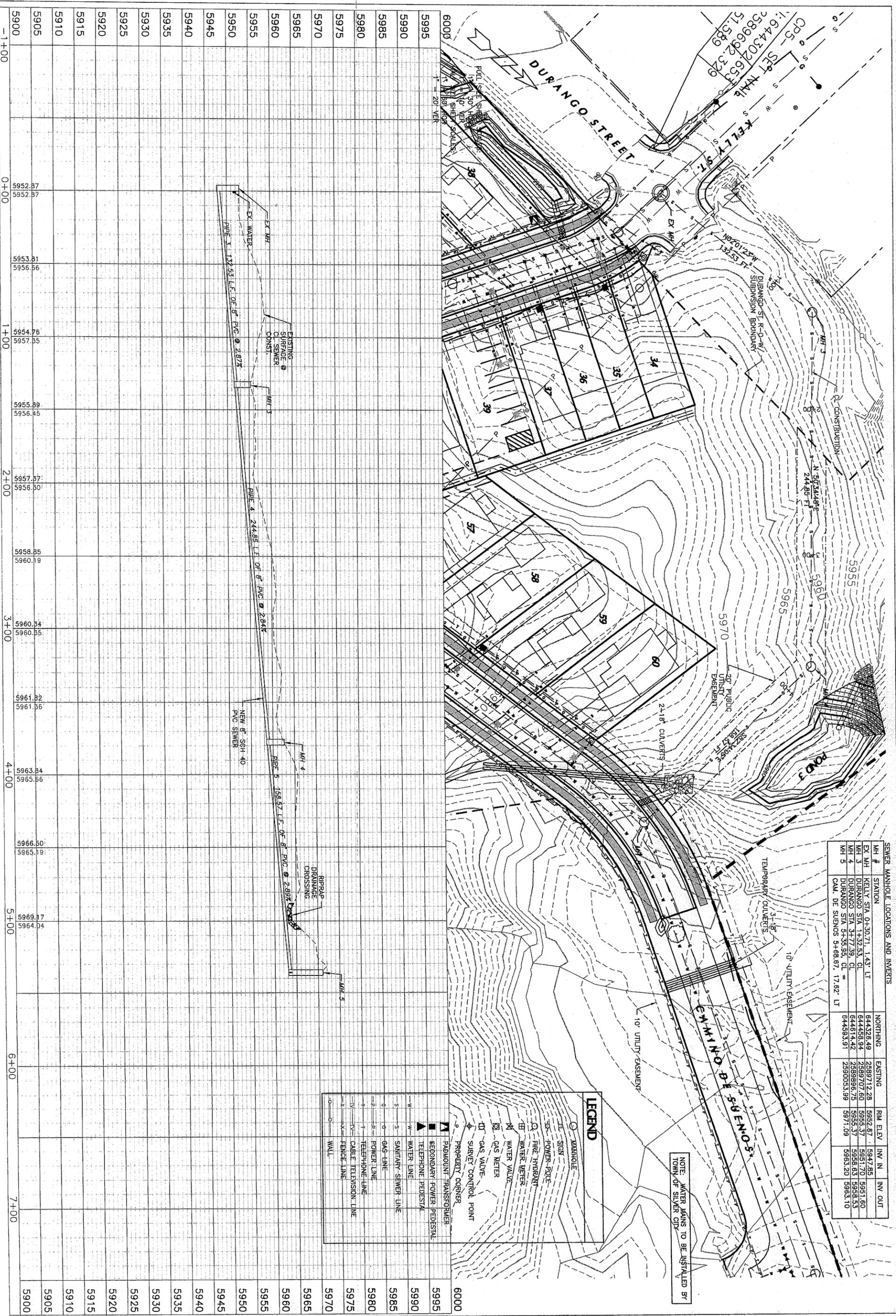
SEWER MANHOLE LOCATIONS AND INVERTS

MH #	STATION	NORTHING	EASTING	RIM ELEV.	INV. IN.	INV. OUT.
EX MH	KELLY STA. 0+30.71, 1.43' LT	644326.49	2699712.28	5952.87	5947.85	5951.80
MH 3	DURANGO STA. 1+32.53, CL	644458.94	2598707.80	5955.37	5951.70	5958.33
MH 4	DURANGO STA. 3+77.39, CL	644614.42	2598986.75	5955.37	5958.53	5958.33
MH 5	CAM. DE SUEÑOS STA. 5+35.35, CL	644593.91	2599053.99	5971.09	5963.20	5963.10
	CAM. DE SUEÑOS STA. 4+68.67, 17.62' LT					

NOTE: WATER MAINS TO BE INSTALLED BY TOWN OF SILVER CITY.

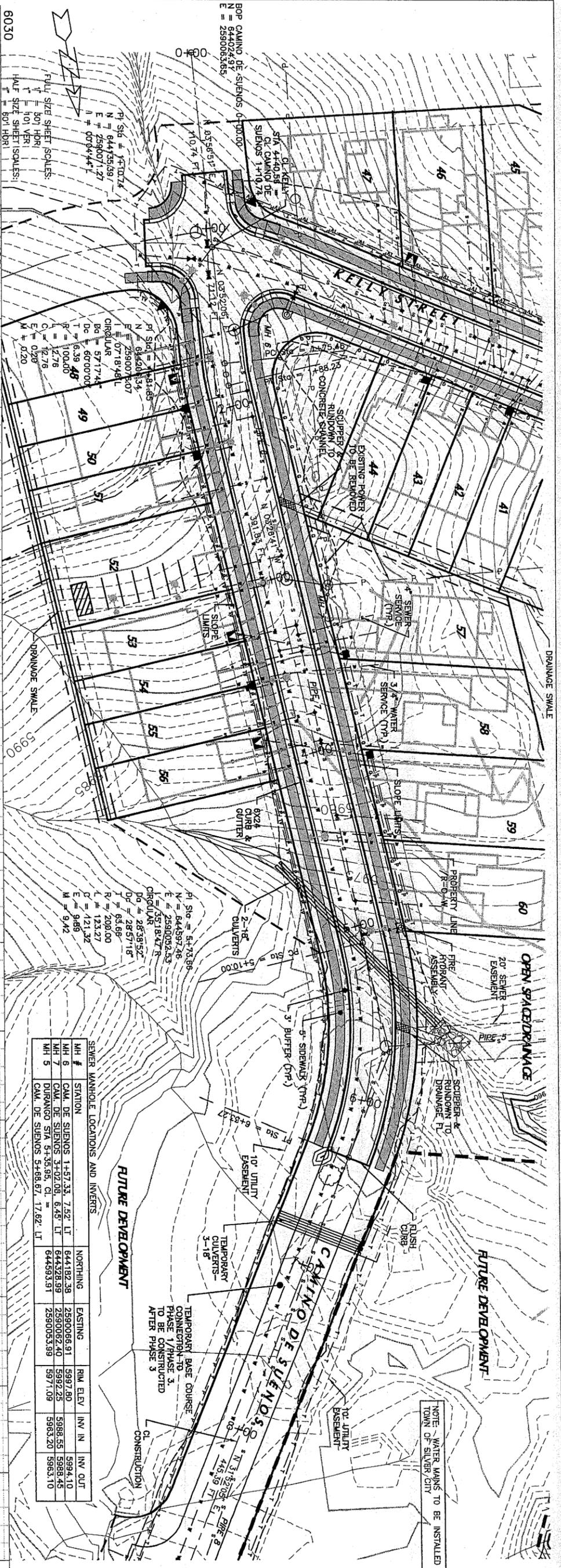
**LEGEND**

	MANHOLE
	SIGHT
	POWER POLE
	FIRE HYDRANT
	WATER METER
	WATER VALVE
	GAS METER
	GAS VALVE
	SURVEY CONTROL POINT
	PROPERTY CORNER
	PADMOUNT TRANSFORMER
	SECONDARY POWER PEDESTAL
	WATER LINE
	SANITARY SEWER LINE
	GAS LINE
	POWER LINE
	TELEPHONE LINE
	CABLE TELEVISION LINE
	FENCE LINE
	WALL



6000	6000	5952.87	5952.87	0+00	0+00	5953.81	5956.56	1+00	1+00	5954.76	5957.35	2+00	2+00	5957.37	5956.50	3+00	3+00	5958.85	5960.19	4+00	4+00	5961.82	5961.56	5+00	5+00	5963.84	5965.56	6+00	6+00	5966.50	5965.19	7+00	7+00	5969.17	5964.04	5905	5905	5910	5910	5915	5915	5920	5920	5925	5925	5930	5930	5935	5935	5940	5940	5945	5945	5950	5950	5955	5955	5960	5960	5965	5965	5970	5970	5975	5975	5980	5980	5985	5985	5990	5990	5995	5995	5990	5990
------	------	---------	---------	------	------	---------	---------	------	------	---------	---------	------	------	---------	---------	------	------	---------	---------	------	------	---------	---------	------	------	---------	---------	------	------	---------	---------	------	------	---------	---------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------

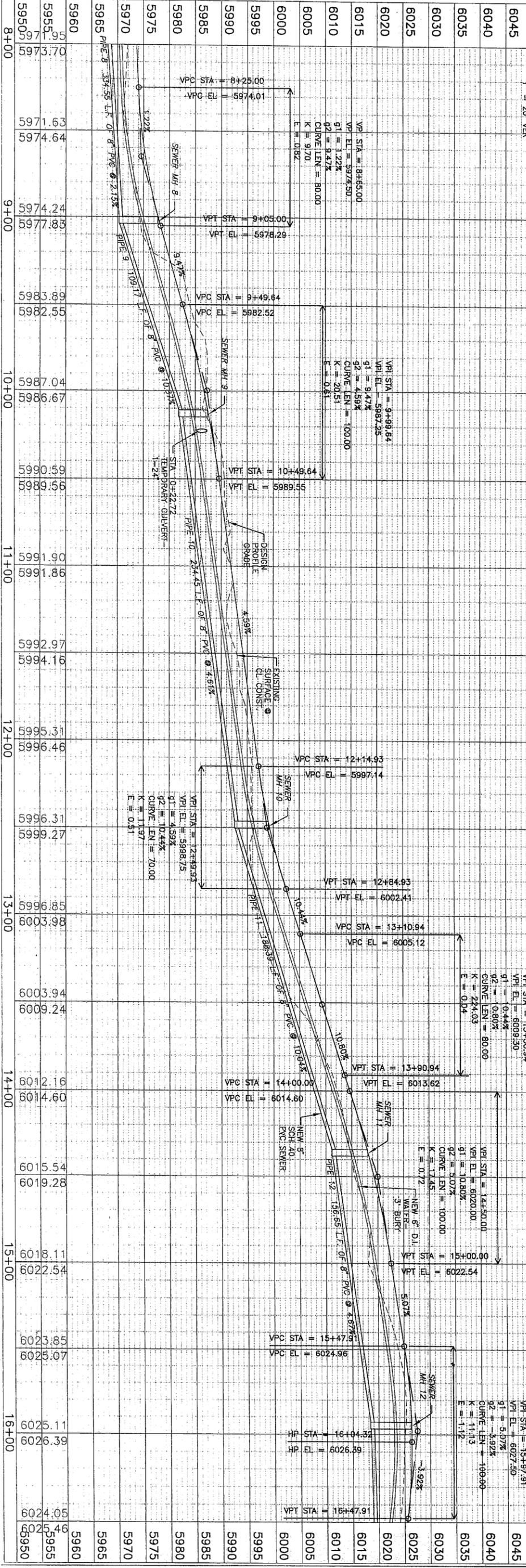
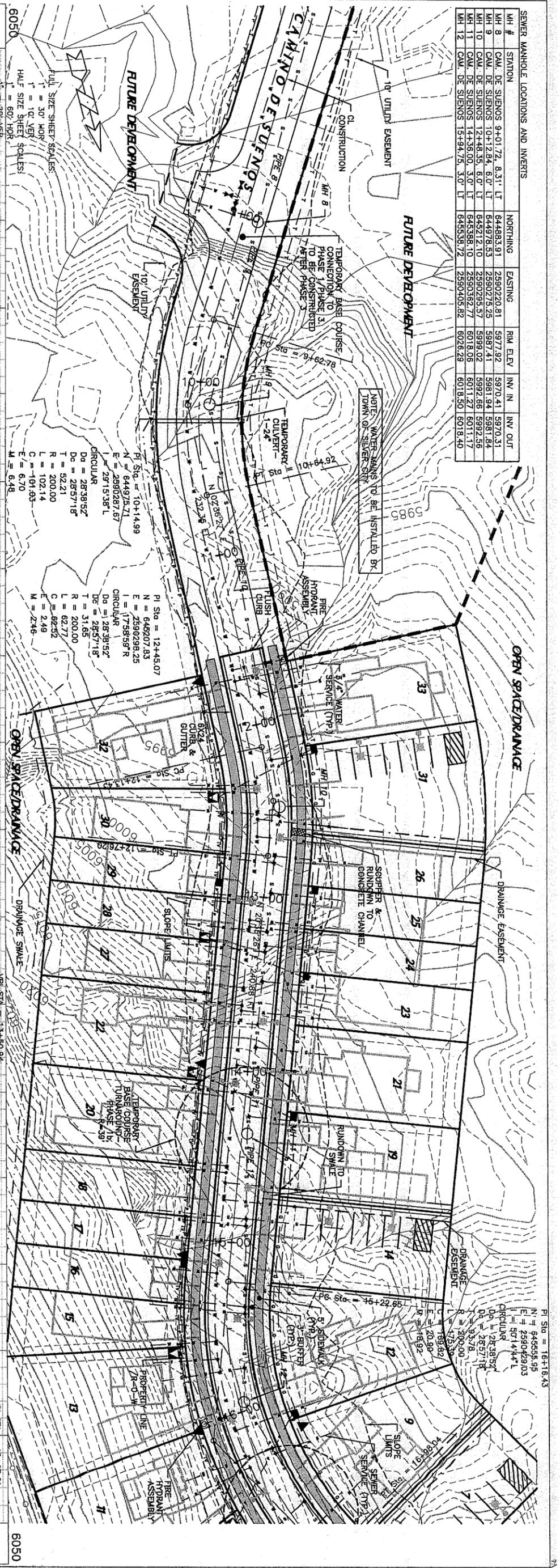
<p><b>C3-2</b> SHEET</p>	<p><b>DURANGO SEWER CONNECTION PLAN AND PROFILE</b></p>	<p><b>WEBER ENGINEERING</b></p>	<p>WEBERENG@SIGNALPEAK.NET (575) 388-2082</p>	<p><b>VISTAS DE PLATA AFFORDABLE HOUSING SILVER CITY, NEW MEXICO</b> TOWN OF SILVER CITY</p>	<p>7/23/10 DATE</p>
			<p>P.O. BOX 5132 SILVER CITY, NM 88062</p>		<p>REVISIONS</p>



MH #	STATION	NORTHING	EASTING	RM. ELEV.	INV. IN.	INV. OUT.
MH 5	CAM. DE SUEÑOS 5+35.95, CL = 17.62' LT	644328.99	2590062.40	5971.09	5963.20	5963.10
MH 6	CAM. DE SUEÑOS 1+57.33, 7.52' LT	644182.28	2590068.91	5977.80	5988.55	5988.45
MH 7	CAM. DE SUEÑOS 3+02.08, 6.45' LT	644328.99	2590062.40	5971.09	5963.20	5963.10

Station	Elevation								
6030	5999.97	6025	5995.10	6020	5995.26	6015	5999.91	6010	5997.55
6010	5999.91	6005	5997.55	6000	5999.91	5995	5998.50	5990	5997.04
5990	5997.55	5985	5998.50	5980	5995.94	5975	5992.50	5970	5992.54
5970	5992.50	5965	5992.54	5960	5988.39	5955	5988.35	5950	5983.80
5950	5988.35	5945	5983.80	5940	5983.69	5935	5977.59	5930	5978.67
5930	5977.59	5925	5978.67	5920	5972.13	5915	5973.57	5910	5971.56
5910	5973.57	5905	5971.56	5900	5971.24	5895	5969.85	5890	5971.42
5890	5969.85	5885	5971.42	5880	5970.49	5875	5971.87	5870	5972.25
5870	5971.87	5865	5972.25	5860	5972.48	5855	5973.80	5850	5973.09
5850	5973.09	5845	5973.80	5840	5973.09	5835	5971.95	5830	5973.70
5830	5973.70	5825	5971.95	5820	5974.64	5815	5974.64	5810	5974.64

STATION	NORTHING	EASTING	RM. ELEV.	INV. IN.	INV. OUT.
MH 8	644883.91	2590220.81	5977.92	5970.41	5970.31
MH 9	644978.53	2590275.25	5987.41	5981.94	5981.84
MH 10	645212.10	2590295.57	5999.02	5992.66	5992.56
MH 11	645368.10	2590362.77	6018.06	6011.27	6011.17
MH 12	645538.72	2590405.82	6028.29	6018.50	6018.40



STATION	INVERT ELEVATION	OUTLET ELEVATION
8+00	5973.70	5971.63
9+00	5974.64	5974.24
10+00	5983.89	5982.55
11+00	5987.04	5986.67
12+00	5990.59	5989.56
13+00	5991.90	5991.86
14+00	5992.97	5994.16
15+00	5995.31	5996.46
16+00	5996.31	5999.27
17+00	5996.85	6003.98
18+00	6003.94	6009.24
19+00	6012.16	6014.60
20+00	6015.54	6019.28
21+00	6018.11	6022.54
22+00	6023.85	6025.07
23+00	6025.11	6025.11
24+00	6026.39	6024.05
25+00	6025.49	6025.49
26+00	6025.11	6025.11

**C3-4**

SHEET

**CAMINO DE SUENOS STREET AND UTILITY PLAN AND PROFILE**

**WEBER ENGINEERING**

WEBERENG@SIGNALPEAK.NET (575) 388-2082

P.O. BOX 5132 SILVER CITY, NM 88062

**VISTAS DE PLATA AFFORDABLE HOUSING SILVER CITY, NEW MEXICO TOWN OF SILVER CITY**

7/23/10

DATE

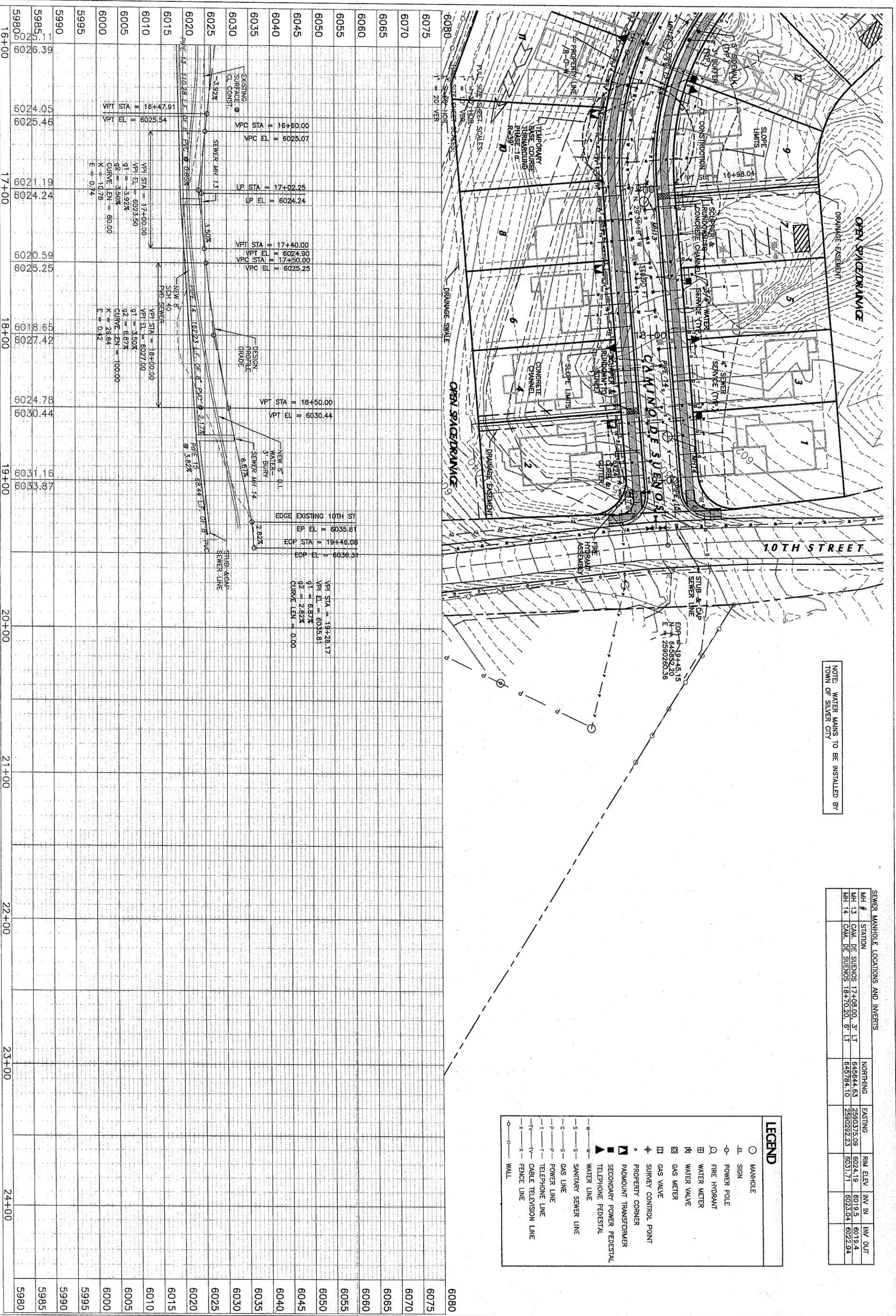
REVISIONS

NOTE: WATER MAINS TO BE INSTALLED BY TOWN OF SILVER CITY

MH #	STATION	NORTHING	EASTING	RIM ELEV	INV IN	INV OUT
MH 13	CAM. DE SUEÑOS 17+08.00, 3' LT	645644.63	2590375.09	6024.19	6019.5	6019.4
MH 14	CAM. DE SUEÑOS 18+70.20, 6' LT	645784.10	2590292.23	6031.71	6023.04	6022.94

**LEGEND**

- MANHOLE
- SIGN
- POWER POLE
- FIRE HYDRANT
- ⊕ WATER METER
- ⊗ WATER VALVE
- ⊠ GAS METER
- ⊡ GAS VALVE
- ⊕ SURVEY CONTROL POINT
- ◊ PROPERTY CORNER
- ▣ PADMOUNT TRANSFORMER
- ▣ SECONDARY POWER PEDestal
- ▣ TELEPHONE PEDestal
- WATER LINE
- SANITARY SEWER LINE
- GAS LINE
- POWER LINE
- TELEPHONE LINE
- CABLE TELEVISION LINE
- FENCE LINE
- WALL



6075	6026.39	6024.05	6025.46	17+00	6021.19	6024.24	6020.59	6025.25	18+00	6018.65	6027.42	6024.78	6030.44	19+00	6031.16	6053.87	20+00	21+00	22+00	23+00	24+00	6080	6075	6070	6065	6060	6055	6050	6045	6040	6035	6030	6025	6020	6015	6010	6005	6000	5995	5990	5985	5980
------	---------	---------	---------	-------	---------	---------	---------	---------	-------	---------	---------	---------	---------	-------	---------	---------	-------	-------	-------	-------	-------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------

**C3-5**  
SHEET

**CAMINO DE SUEÑOS STREET AND UTILITY PLAN AND PROFILE**

**WEBER ENGINEERING**

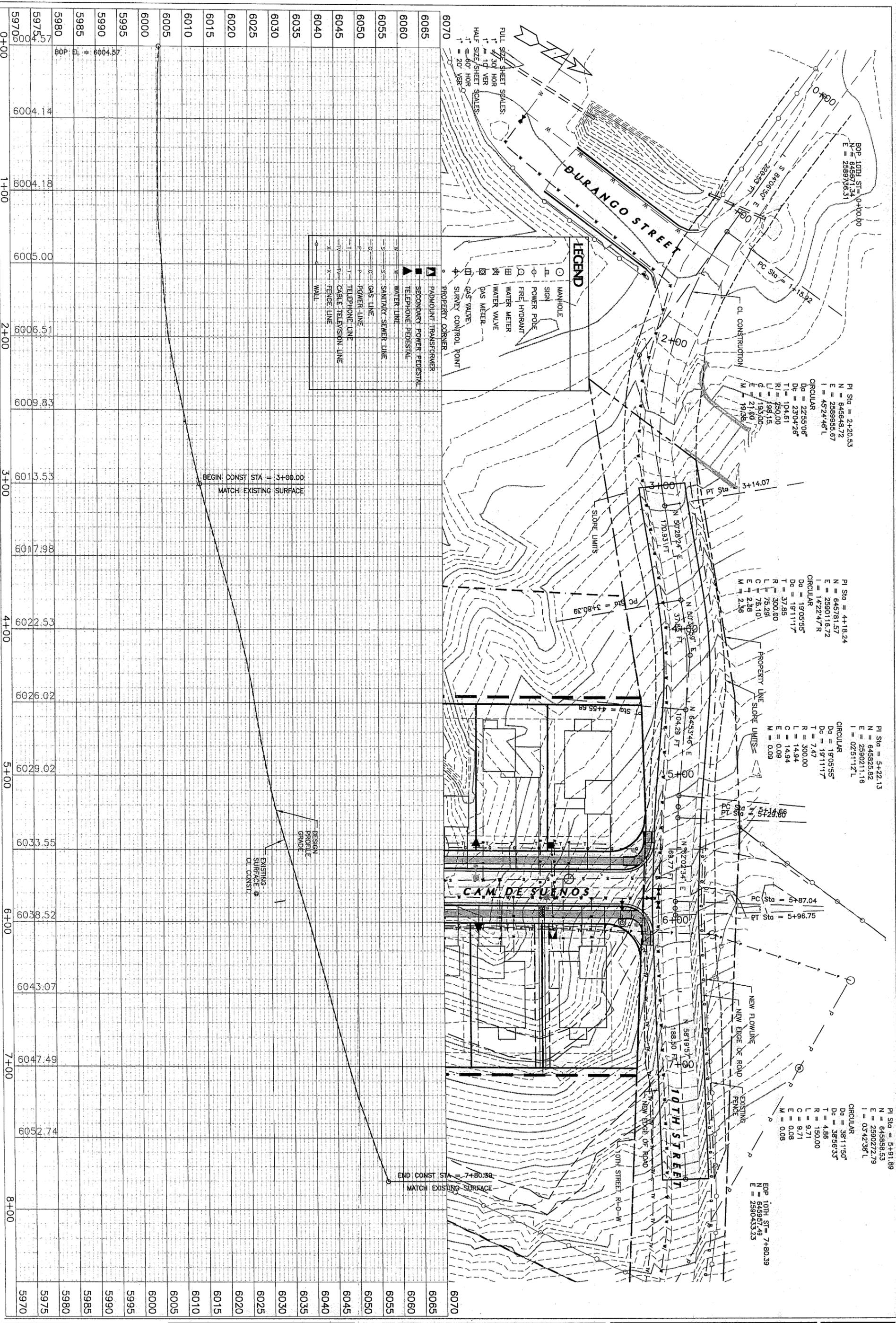
WEBERENG@SIGNALPEAK.NET  
(575) 388-2082

P.O. BOX 5132  
SILVER CITY, NM 88062

**VISTAS DE PLATA AFFORDABLE HOUSING**  
SILVER CITY, NEW MEXICO  
TOWN OF SILVER CITY

7/23/10  
DATE

REVISIONS

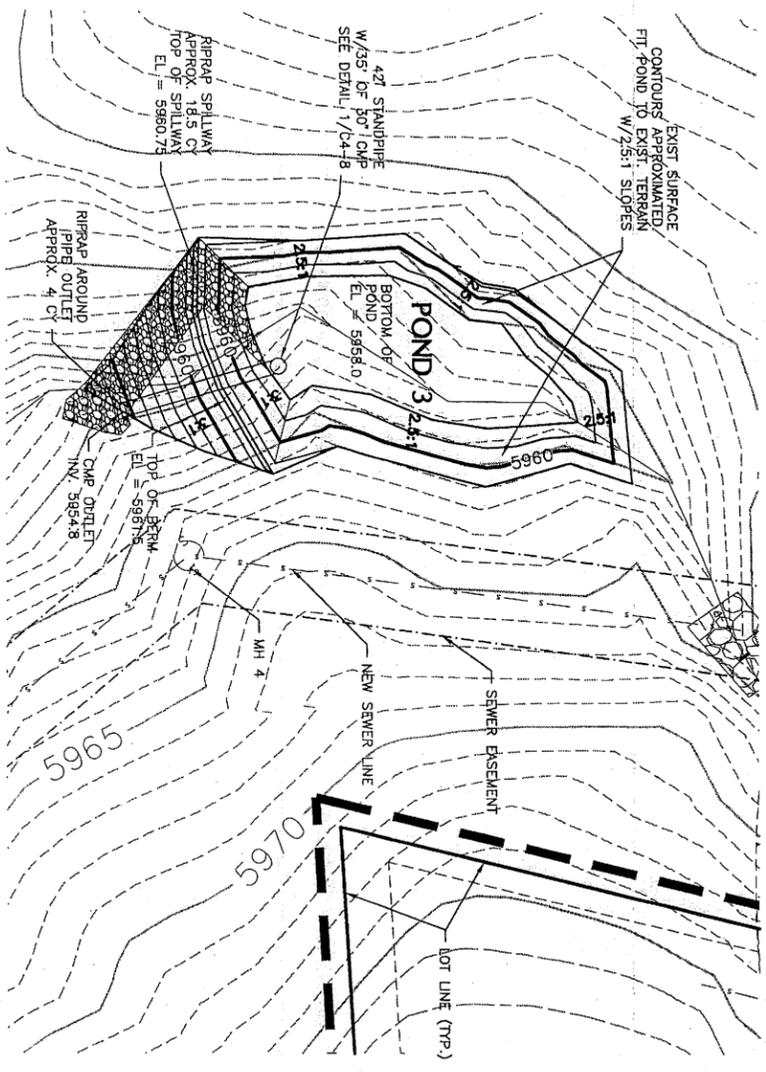
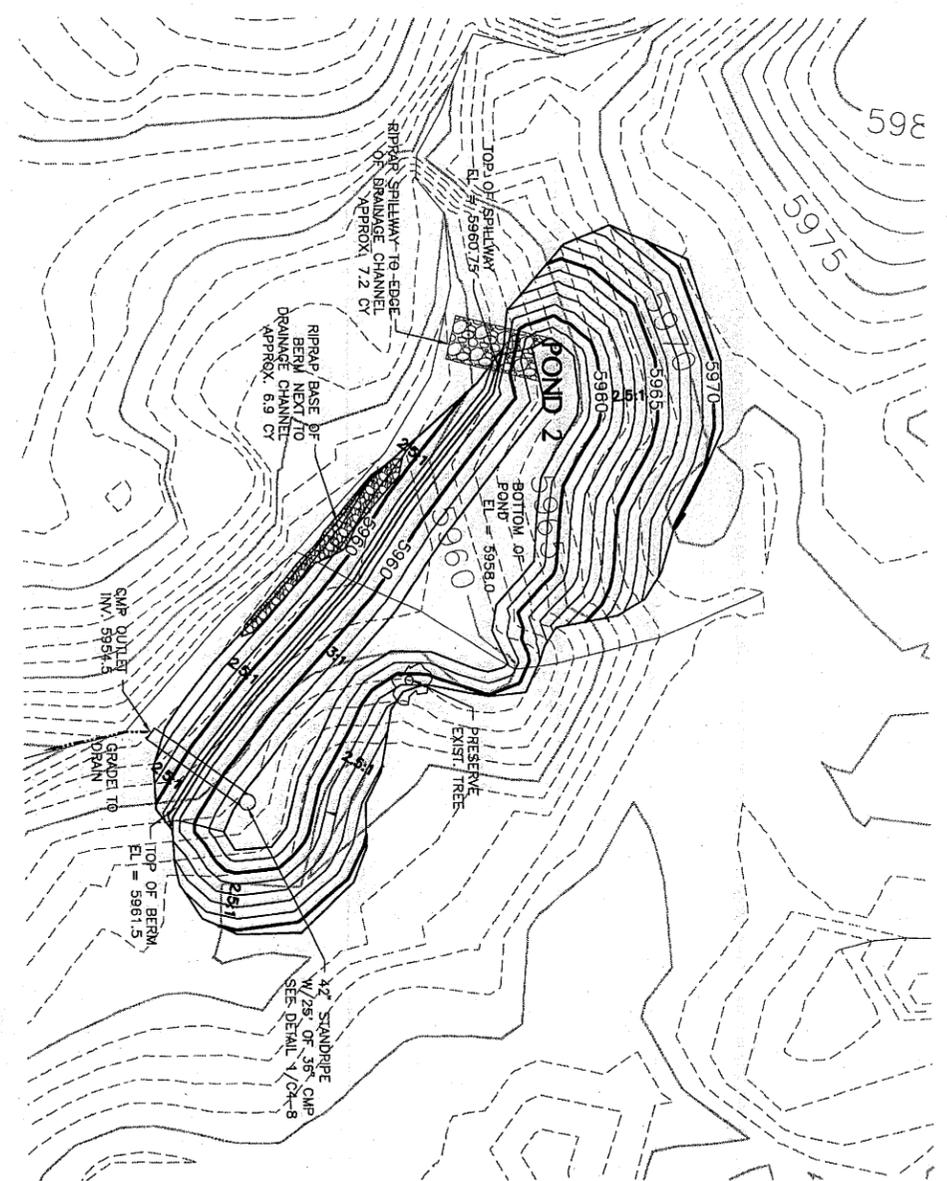
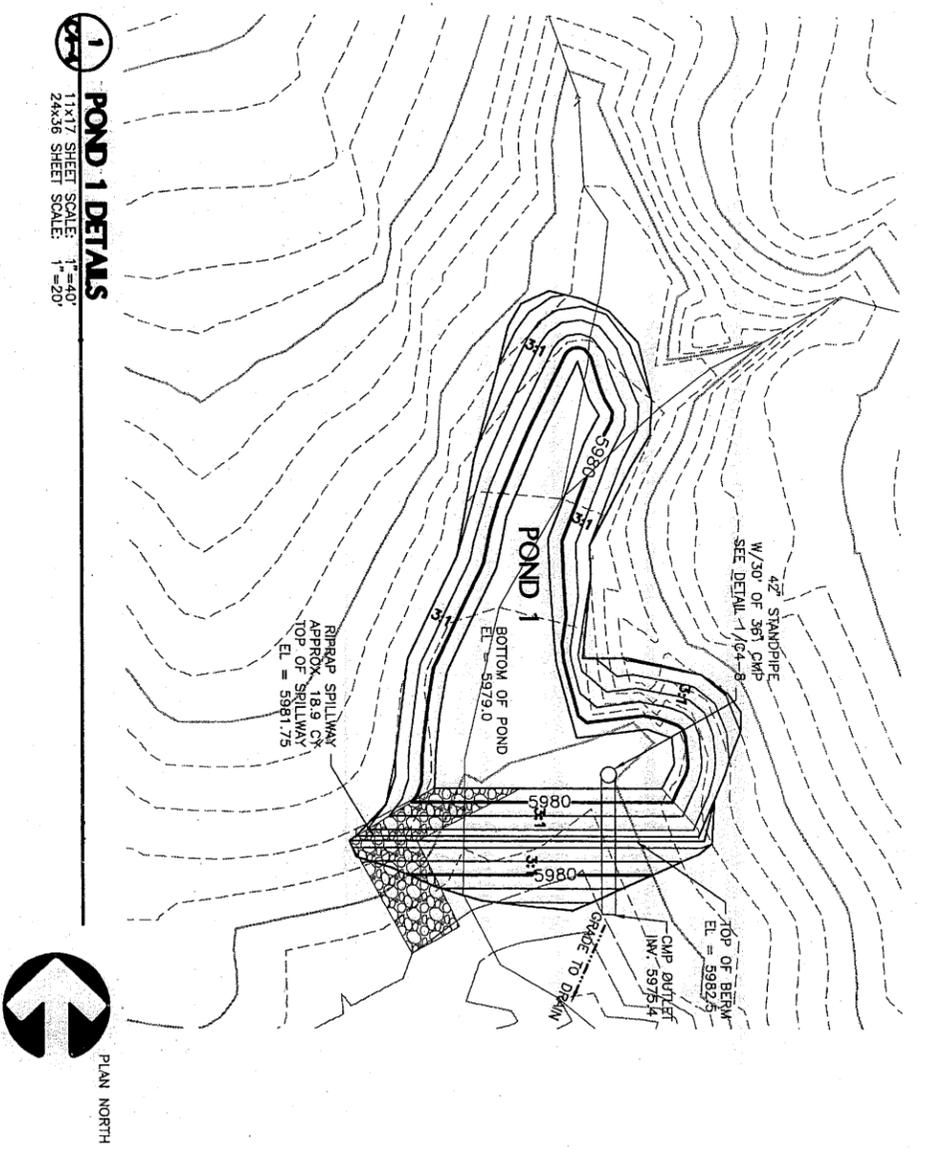


5970.9	0+00
5975.4	5975.4
5980	5980
5985	5985
5990	5990
5995	5995
6000	6000
6005	6005
6010	6010
6015	6015
6020	6020
6025	6025
6030	6030
6035	6035
6040	6040
6045	6045
6050	6050
6055	6055
6060	6060
6065	6065
6070	6070

<p><b>C3-6</b> SHEET</p>	<p><b>10TH STREET STREET AND UTILITY PLAN AND PROFILE</b></p>	<p><b>WEBER ENGINEERING</b> WEBERENG@SIGNALPEAK.NET (575) 388-2082 P.O. BOX 5132 SILVER CITY, NM 88062</p>	<p><b>VISTAS DE PLATA AFFORDABLE HOUSING SILVER CITY, NEW MEXICO TOWN OF SILVER CITY</b></p>	<p>7/23/10 DATE REVISIONS</p>
------------------------------	---	--	--	---------------------------------------

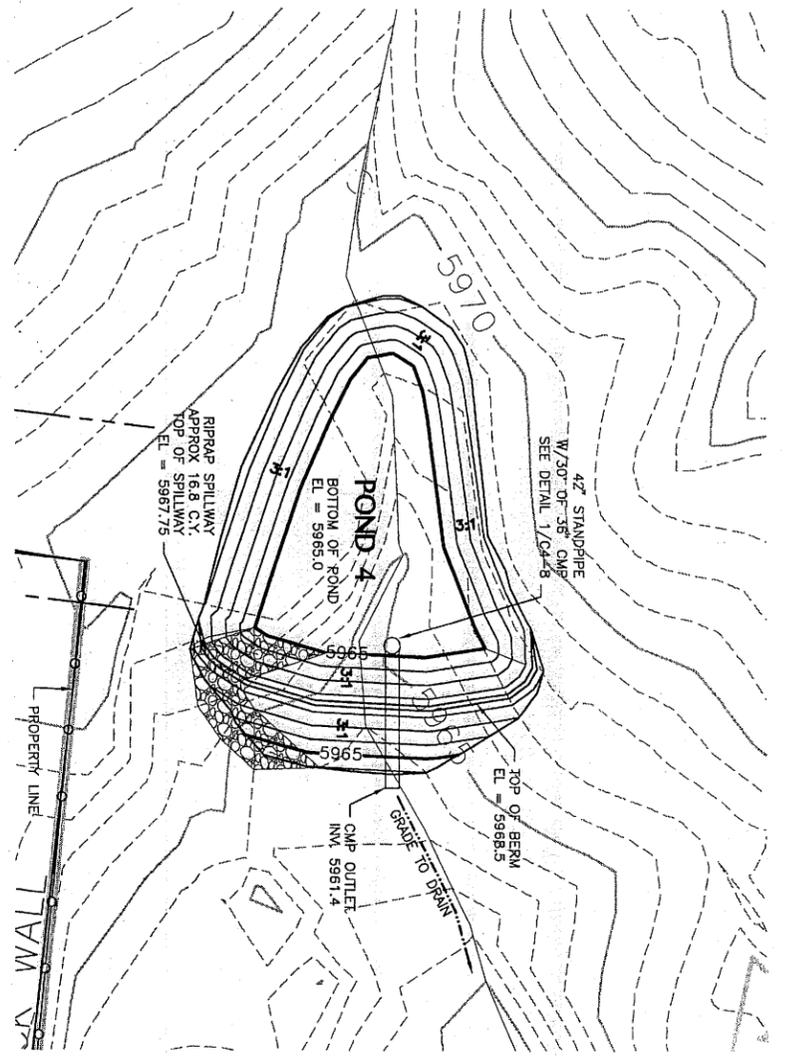
C:\PROJECTS\080324\080324.PLAN\CS-6.DWG



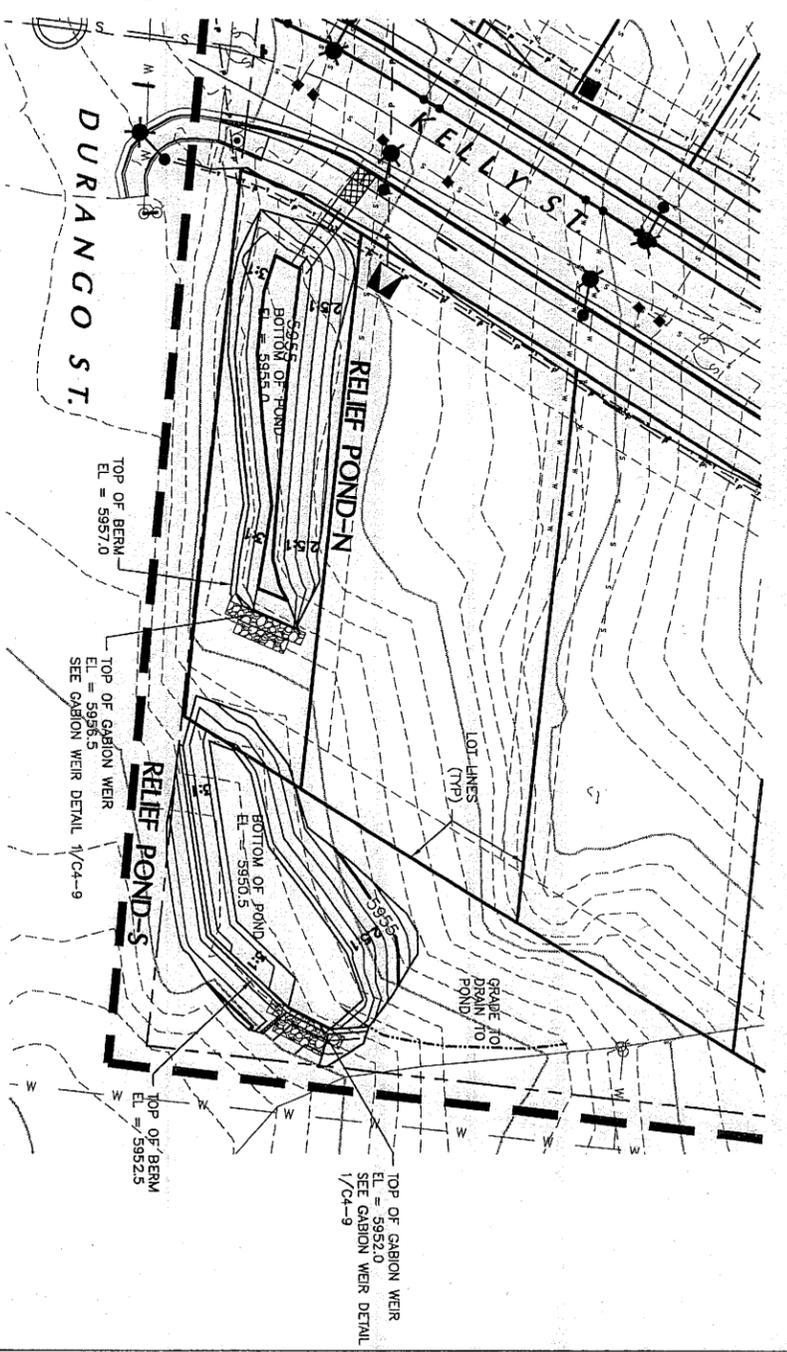


**3 POND 3 DETAILS**  
 11x17 SHEET SCALE: 1"=40'  
 24x36 SHEET SCALE: 1"=20'

**2 POND 2 DETAILS**  
 11x17 SHEET SCALE: 1"=40'  
 24x36 SHEET SCALE: 1"=20'



**1**  
**POND 4 DETAILS**  
 11x17 SHEET SCALE: 1"=40'  
 24x36 SHEET SCALE: 1"=20'



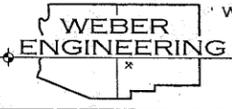
**2**  
**DRAINAGE RELIEF PONDS DETAILS**  
 11x17 SHEET SCALE: 1"=40'  
 24x36 SHEET SCALE: 1"=20'



7/23/10
DATE
REVISIONS

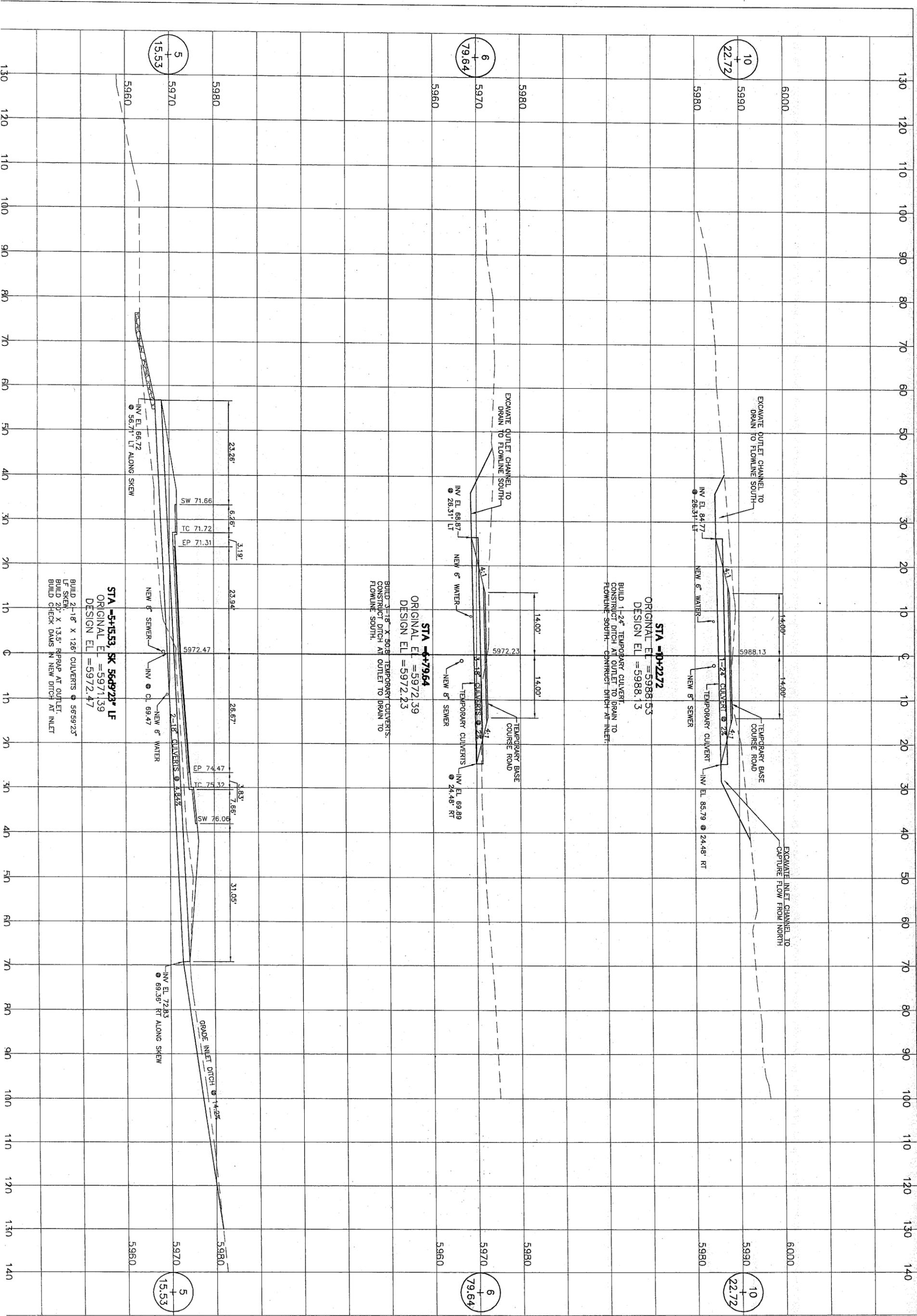
**VISTAS DE PLATA**  
**AFFORDABLE HOUSING**  
**SILVER CITY, NEW MEXICO**  
 TOWN OF SILVER CITY

WEBERENG@SIGNALPEAK.NET  
 (575) 388-2082  
 P.O. BOX 5132  
 SILVER CITY, NM 88062



**POND DETAILS**

**C4-5**  
 SHEET



C4-6  
SHEET

CAMINO DE SUENOS  
STRUCTURE SECTIONS

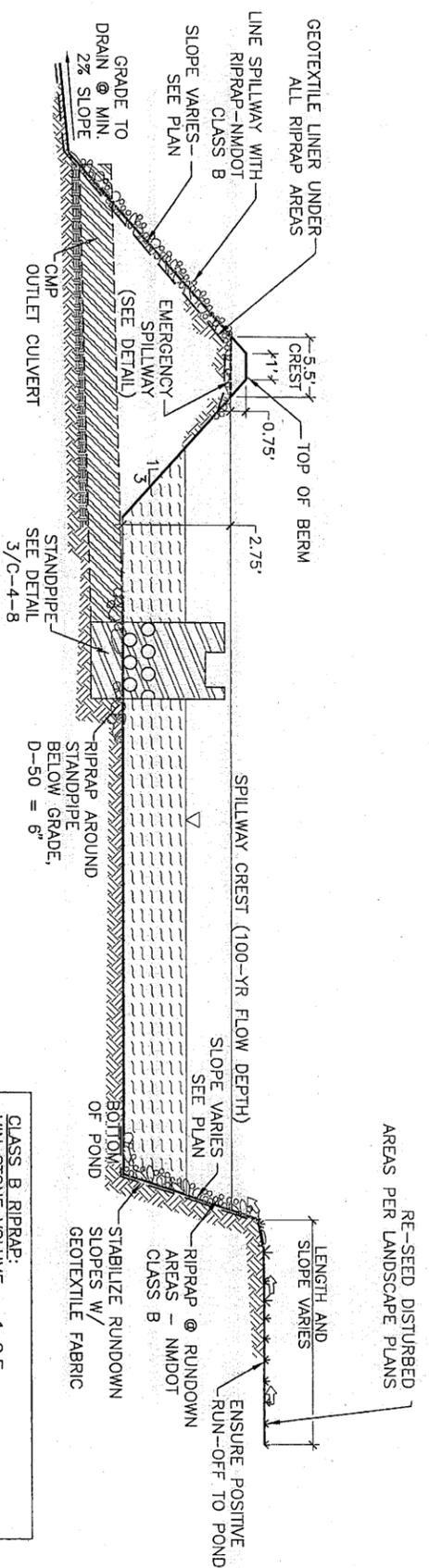
WEBER  
ENGINEERING

WEBERENG@SIGNALPEAK.NET  
(575) 388-2082

P.O. BOX 5132  
SILVER CITY, NM 88062

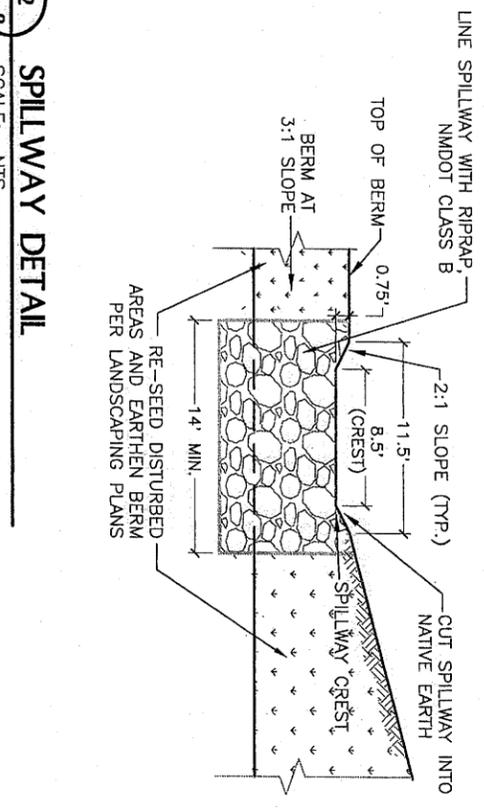
VISTAS DE PLATA  
AFFORDABLE HOUSING  
SILVER CITY, NEW MEXICO  
TOWN OF SILVER CITY

7/23/10
DATE
REVISIONS

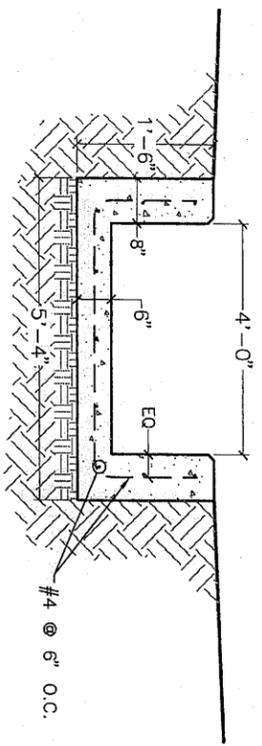


CLASS B RIPRAP:  
 MIN STONE VOLUME = 1 C.F.  
 MAX. STONE VOLUME = 2 C.F.  
 MIN. DIMENSION = 6"  
 ALL CLASS B STONE SHALL HAVE AT LEAST 2 FRACTURED FACES

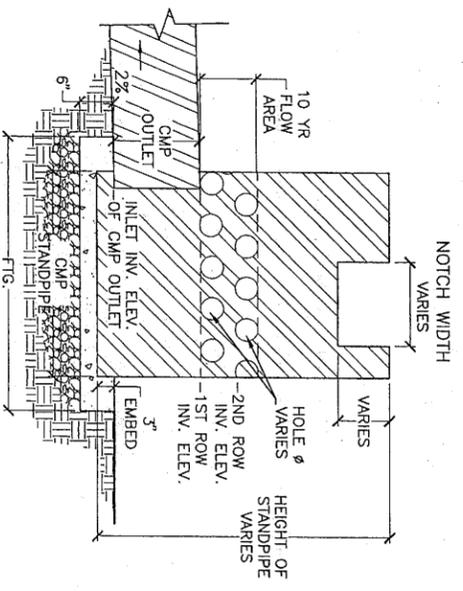
**1** STORMWATER DETENTION POND DETAIL  
 SCALE: NTS



**2** SPILLWAY DETAIL  
 SCALE: NTS



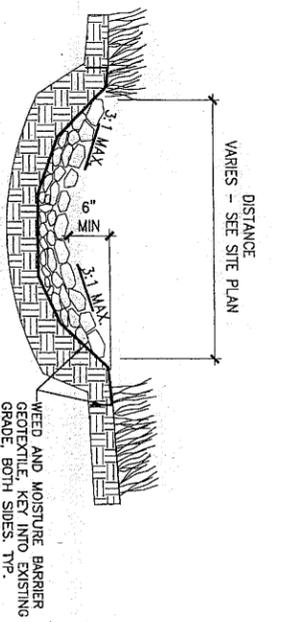
**5** CONCRETE CHANNEL DETAIL  
 SCALE: NTS



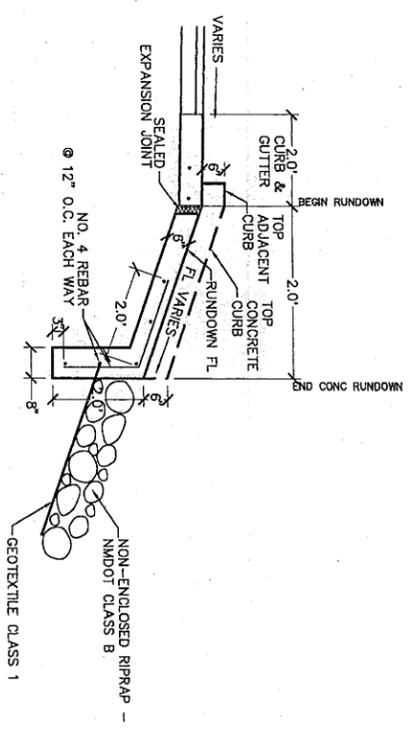
**3** STANDPIPE GENERAL DETAIL  
 SCALE: NTS

**STANDPIPE DIMENSION TABLE** (RELATIVE ELEV. WITH BOTTOM OF POND = 1000.0)

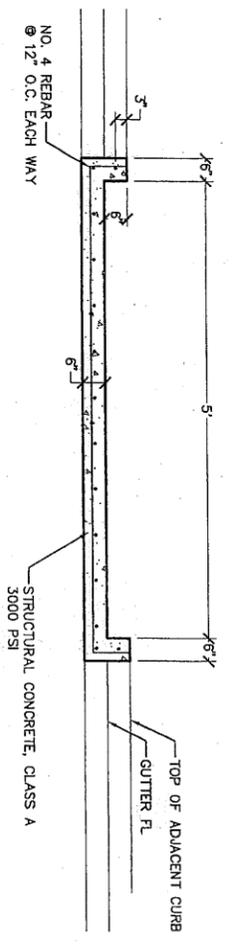
POND #	CMP DIAM.	CULVERT LENGTH	OUTLET INV. ELEV.	DRAIN HOLE # AND DIAM.	1ST ROW DRAIN HOLE INV. ELEV.	2ND ROW DRAIN HOLE INV. ELEV.	NOTCH WIDTH	NOTCH INV. ELEV.	TOP OF STANDPIPE ELEV.
1	36"	30'	997.0	18 @ 4"	1000.0	1000.5	1.0'	1001.75	1002.0
2	36"	25'	997.0	18 @ 4"	1000.0	1000.5	2.5'	1001.50	1002.25
3	30"	35'	997.5	18 @ 2"	1000.0	1000.5	2.5'	1001.50	1002.25
4	36"	30'	997.0	18 @ 4"	1000.0	1000.5	2.0'	1001.20	1002.20



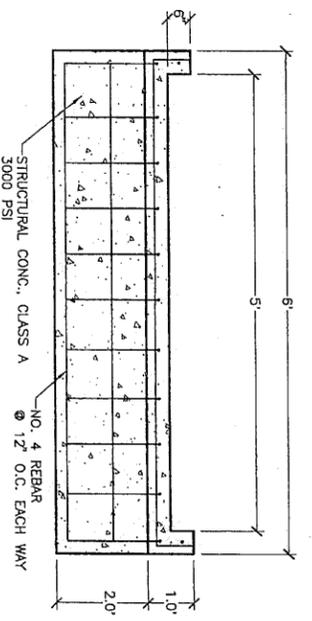
**4** ROCK DRAINAGE SWALE  
 SCALE: NTS



**6** CONCRETE RUNDOWN PROFILE  
 SCALE: NTS



**7** CONCRETE RUNDOWN OPENING  
 SCALE: NTS



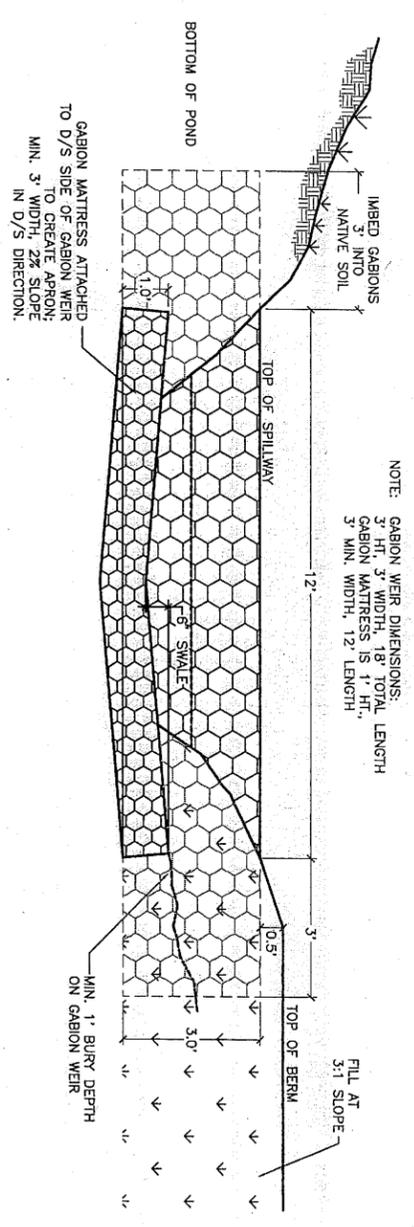
**8** CONCRETE RUNDOWN (END)  
 SCALE: NTS

7/23/10
DATE
REVISIONS

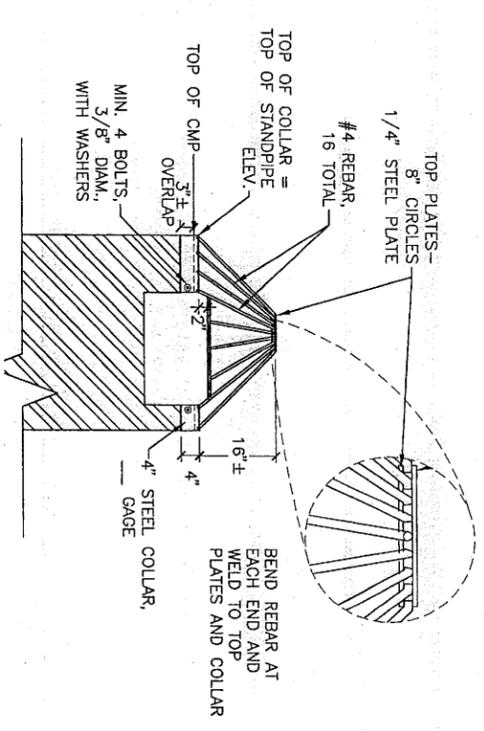
VISTAS DE PLATA  
 AFFORDABLE HOUSING  
 SILVER CITY, NEW MEXICO  
 TOWN OF SILVER CITY

WEBER ENGINEERING  
 WEBERENG@SIGNALPEAK.NET  
 (575) 388-2082  
 P.O. BOX 5132  
 SILVER CITY, NM 88062

POND, RIPRAIP, CONCRETE  
 RUNDOWN, CONCRETE  
 CHANNEL DETAILS



**1 GABION WEIR DETAIL - DRAINAGE RELIEF PONDS**  
SCALE: NTS



**2 STANDPIPE TRASH RACK DETAIL**  
SCALE: NTS

7/23/10
DATE
REVISIONS

VISTAS DE PLATA  
AFFORDABLE HOUSING  
SILVER CITY, NEW MEXICO  
TOWN OF SILVER CITY

WEBERENG@SIGNALPEAK.NET  
(575) 388-2082  
P.O. BOX 5132  
SILVER CITY, NM 88062

**WEBER ENGINEERING**

GABION WEIR, STANDPIPE  
TRASH RACK DETAILS

NOTE: WATER MAINS TO BE  
INSTALLED BY TOWN OF SILVER CITY

7/23/10
DATE
REVISIONS

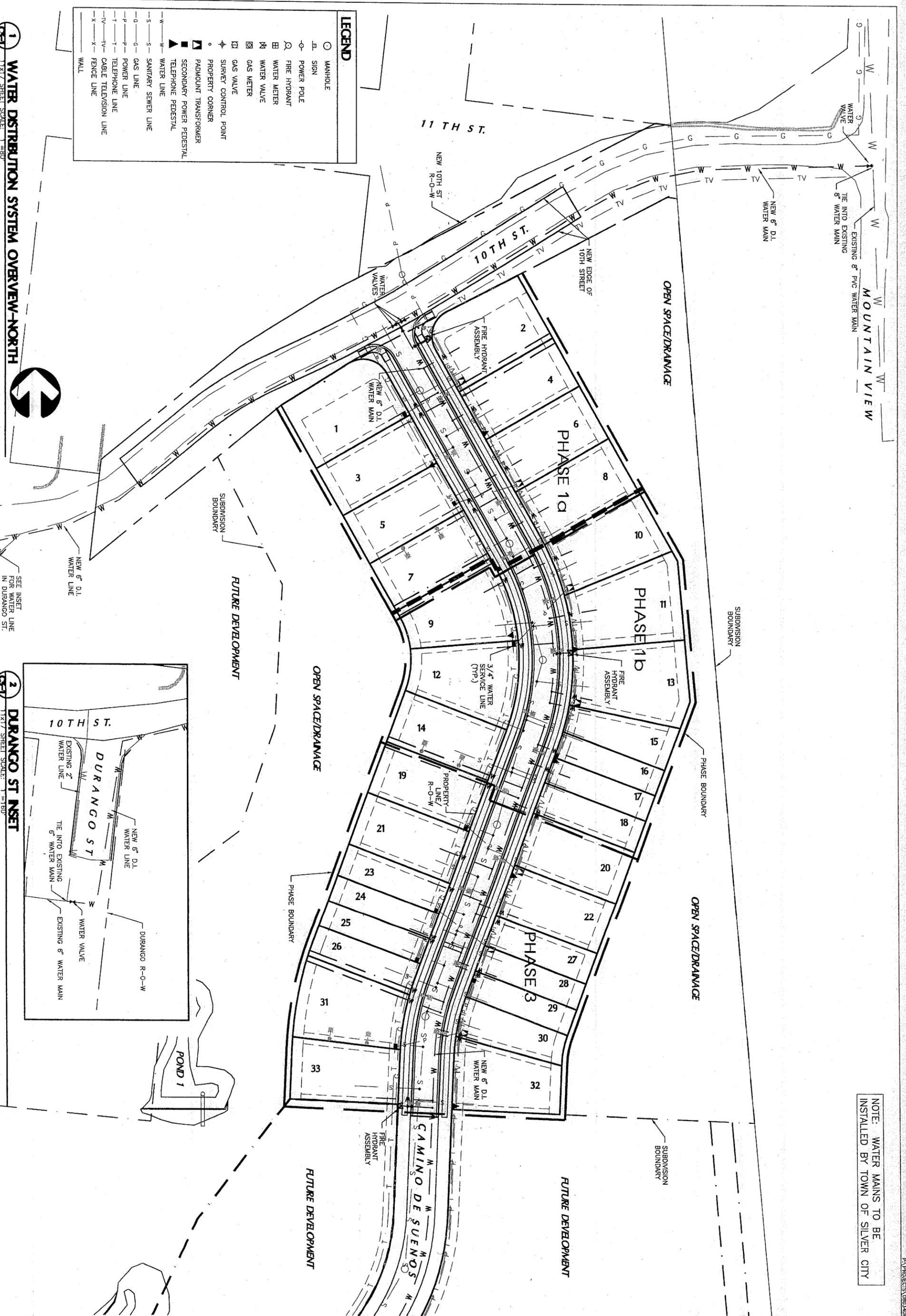
VISTAS DE PLATA  
AFFORDABLE HOUSING  
SILVER CITY, NEW MEXICO  
TOWN OF SILVER CITY

WEBERENGINEERING@SIGNALPEAK.NET  
(575) 388-2082  
P.O. BOX 5132  
SILVER CITY, NM 88062

WEBER  
ENGINEERING

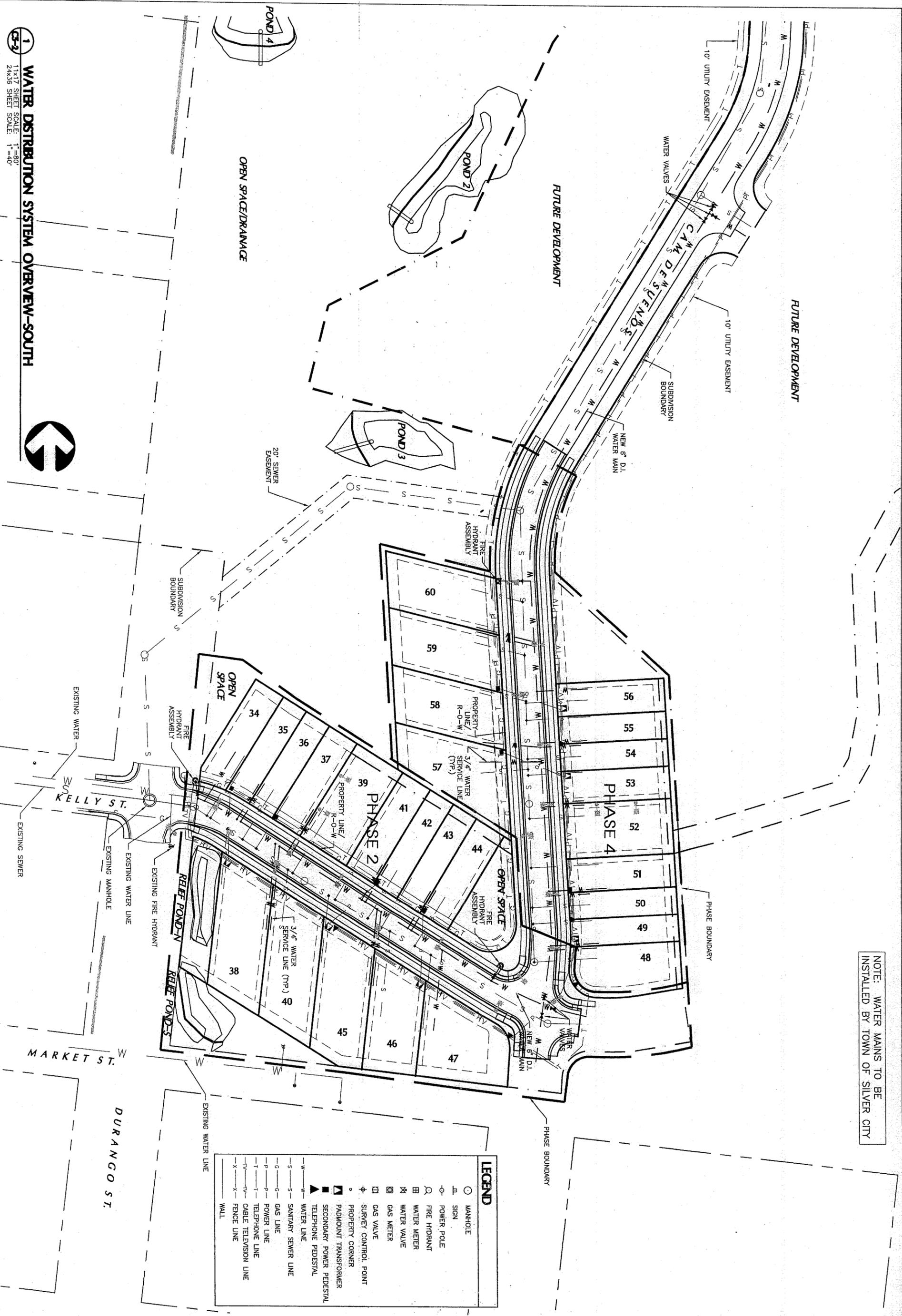
WATER DISTRIBUTION SYSTEM  
OVERVIEW - NORTH

C5-1  
SHEET



PA PROJECTS\0803\0803\PLANS\CS-2.DWG

NOTE: WATER MAINS TO BE INSTALLED BY TOWN OF SILVER CITY



LEGEND	
○	MANHOLE
□	SIGN
○	POWER POLE
○	FIRE HYDRANT
⊕	WATER METER
⊕	WATER VALVE
⊕	GAS METER
⊕	GAS VALVE
⊕	SURVEY CONTROL POINT
⊕	PROPERTY CORNER
⊕	PADMOUNT TRANSFORMER
⊕	SECONDARY POWER PEDESTAL
⊕	TELEPHONE PEDESTAL
—	WATER LINE
—	WATER LINE
—	SANITARY SEWER LINE
—	GAS LINE
—	POWER LINE
—	TELEPHONE LINE
—	CABLE TELEVISION LINE
—	FENCE LINE
—	WALL

1 WATER DISTRIBUTION SYSTEM OVERVIEW-SOUTH  
11x17 SHEET SCALE 1"=80'  
24x36 SHEET SCALE 1"=40'



CS-2  
SHEET

WATER DISTRIBUTION SYSTEM  
OVERVIEW - SOUTH

**WEBER ENGINEERING**  
WEBERENG@SIGNALPEAK.NET  
(575) 388-2082  
P.O. BOX 5132  
SILVER CITY, NM 88062

VISTAS DE PLATA  
AFFORDABLE HOUSING  
SILVER CITY, NEW MEXICO  
TOWN OF SILVER CITY

7/23/10
DATE
REVISIONS

MOUNTAIN VIEW

OPEN SPACE/DRAINAGE

SUBDIVISION BOUNDARY

PHASE BOUNDARY

OPEN SPACE/DRAINAGE

SUBDIVISION BOUNDARY

FUTURE DEVELOPMENT

FUTURE DEVELOPMENT

OPEN SPACE/DRAINAGE

FUTURE DEVELOPMENT

SUBDIVISION BOUNDARY

11 TH ST.

10 TH ST.

NEW 10TH ST R-O-W

NEW SOLAR STREET LIGHT (TYP.)

NEW SOLAR STREET LIGHT (TYP.)

PROPERTY LINE/R-O-W

NEW SOLAR STREET LIGHT (TYP.)

FIRE HYDRANT ASSEMBLY

POND 1

**LIGHTING SPECIFICATIONS:**  
 SOLAR ILLUMINATIONS SLO3 SOLAR HIGH-LITE STREET LIGHT WITH 13' POLE

**PHOTOMETRICS:**  
 336 LED LAMP AT 13'  
 2018 LUMENS AT SOURCE APPROXIMATELY

APPROXIMATE LUX DISTRIBUTION:  
 AT THE BASE OF THE 13' POLE, 1 METER FORWARD = 55 LUX  
 7 METERS FORWARD = 4 LUX  
 AT THE BASE OF THE 13' POLE, 1 METER TO THE LEFT OR RIGHT = 50 LUX  
 7 METERS LEFT OR RIGHT = 2 LUX

F:\PROJECTS\0803095\PLANS\CS\_3-05-4.DWG

7/23/10  
DATE

REVISIONS

VISTAS DE PLATA  
AFFORDABLE HOUSING  
SILVER CITY, NEW MEXICO  
TOWN OF SILVER CITY

WEBER ENGINEERING

WEBERENG@SIGNALPEAK.NET  
(575) 388-2082  
P.O. BOX 5132  
SILVER CITY, NM 88062

CHAMPLIN ENGINEERING, LLC  
P.O. BOX 53081  
PINOS ALTOS, NM 88053  
505-538-8710

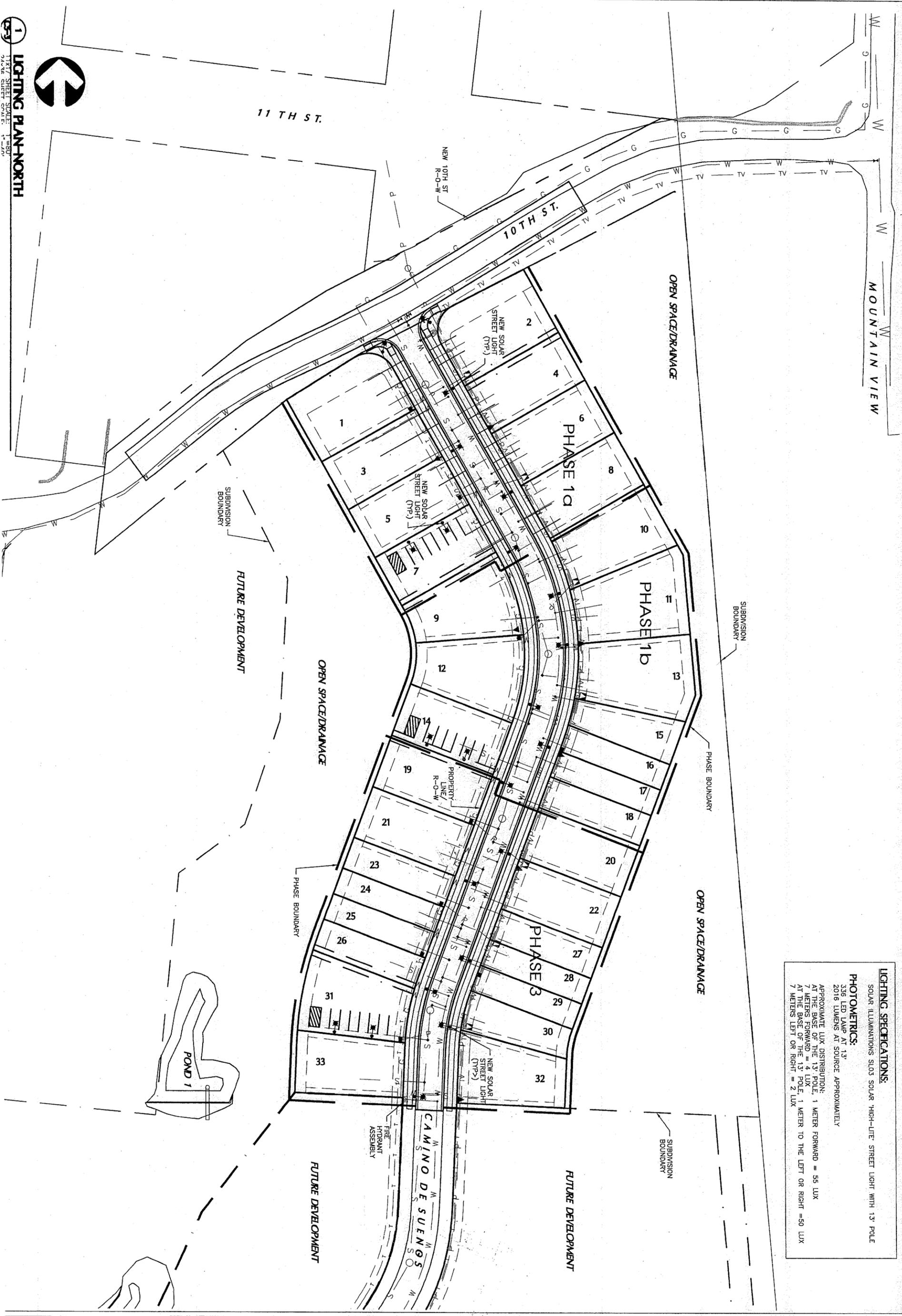
LIGHTING PLAN -  
NORTH

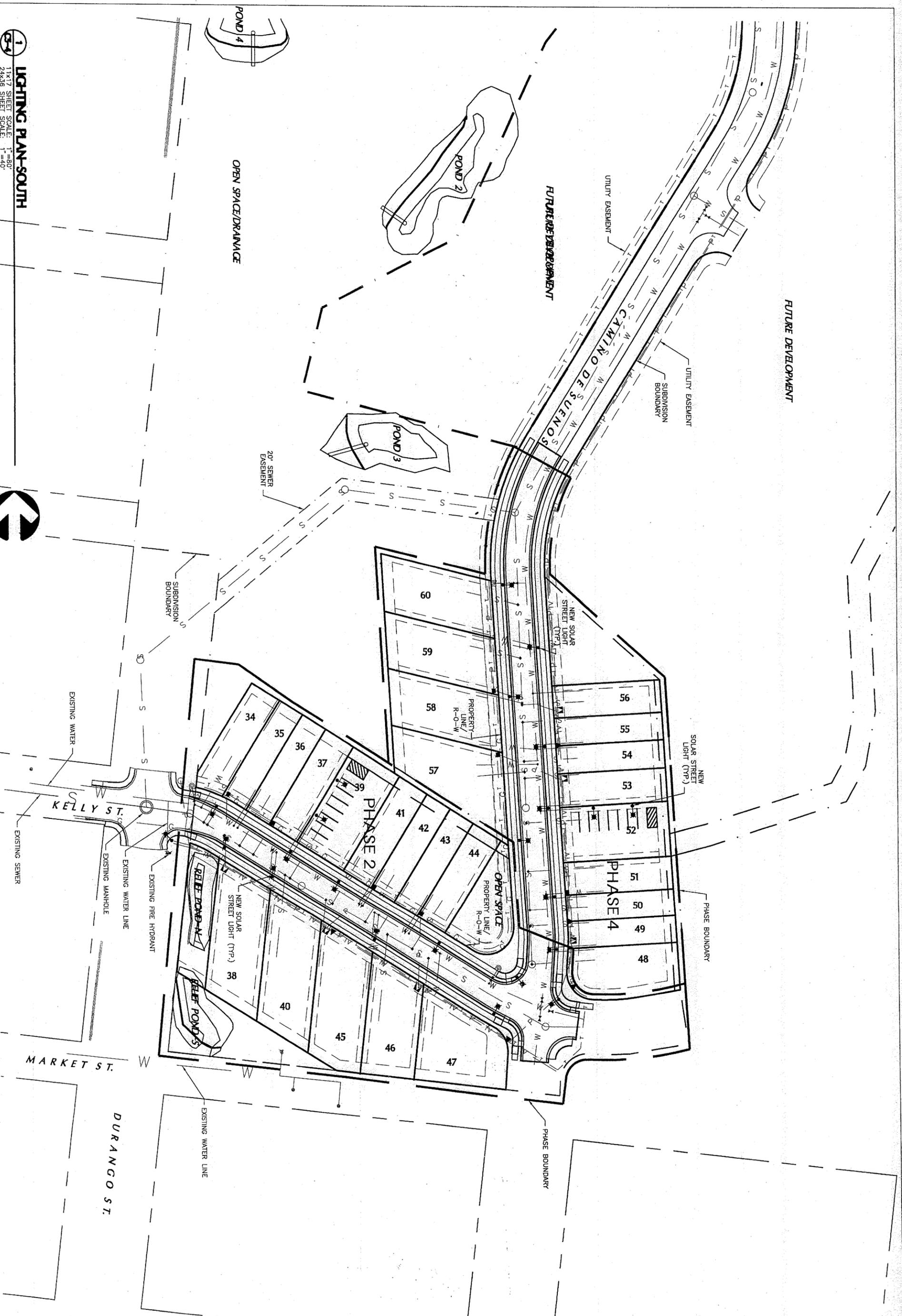
C5-3

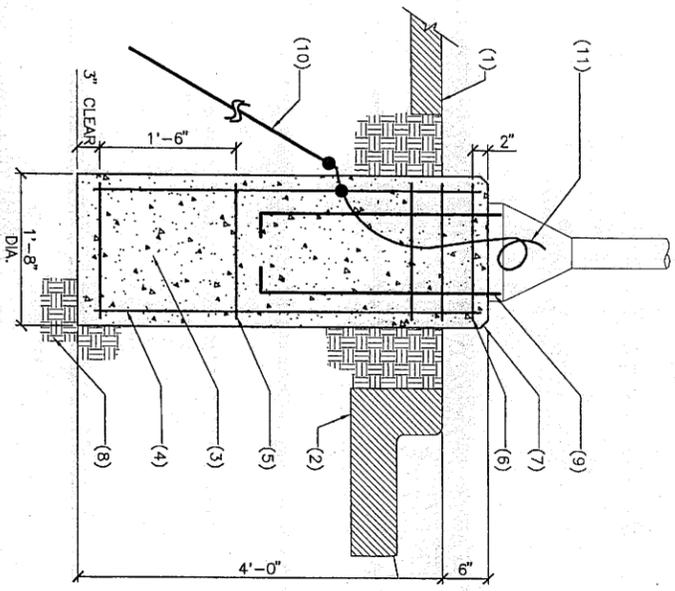
SHEET

1 LIGHTING PLAN-NORTH

13'x17' SHEET SCALE: 1"=30'  
34'x36' SHEET SCALE: 1"=40'







**1 LIGHT POLE BASE DETAIL**  
SCALE: NTS

**POLE BASE KEVED NOTES**

1. SIDEWALK (REFER TO CIVIL PLANS)
2. CURB & GUTTER (REFER TO CIVIL PLANS)
3. 3000 PSI CONCRETE BASE, CENTER BETWEEN SIDEWALK AND BACK OF CURB
4. #3 BARS VERTICAL
5. #3 BARS SPACED @ 6" OC
6. 1" CHAMFER ALL AROUND
7. COMPACTED FILL OR UNDISTURBED SOIL
8. ANCHOR BOLTS (4) FURNISHED WITH LIGHTING FIXTURE
9. 5/8" X 8'-0" CU CLAD DRIVEN GROUND ROD
10. #10 CU BARE GROUNDING CONDUCTOR, BOUNDED TO POLE BASE, TO REINFORCING AND TO GROUND ROD.

**SL03 Solar High-Lite Street Light (Complete With 13' Pole)**  
**TECHNICAL SPECIFICATIONS (CONTD.)**

**BATTERY CAPACITY**  
One 12 v. DC sealed lead acid or GEL type batteries  
Battery capacity is subject to the specification of the system.  
Battery type is rechargeable, maintenance free, sealed lead acid or GEL type.  
Battery dimensions vary subject to battery capacity.  
Battery weight will vary subject to environmental factors.  
Typical battery life is approximately 3-4 years subject to environmental factors.  
Over charge and over discharge protection system.  
The battery voltage maintained at or below 14.2 v. DC maximum and at or above 11 v. DC.  
Battery charge voltage is programmed to 16.9 v. DC.

**SOLAR PANEL**  
Highly efficient polycrystalline solar panel made by Sharp, in Japan.  
UL Listed & IEC approved.  
Stainless steel frame with anti-aging and encapsulated.  
The solar panel is built into the top of the lamp head unit.  
Low reflecting tempered glass.  
Solar panel is 50 Watts.  
Solar panel typical voltage is 17V DC at 2.9A.  
Typical solar panel life is approximately 15-20 years subject to environmental factors.  
Due to the horizontal orientation of the solar panel, and its wattage, a good to high level of insolation would be required for optimum performance.

**LAMP UNIT (LIGHT HEAD)**  
Fitted with 336 Cree® LEDs  
All LEDs are white, Amber or white/amber or other LED color temperatures possible, via special order only and at extra cost.  
Each LED has a light output of greater than 8000 mcd and approx. 6 Lux (lumens per square metre).  
Each LED is rated at 3v/ 15mA.  
The 320 LED lamp provides approx. 2016 Lux (lumens per square metre) or approx. 160 Candela.  
Using a 13' (4 metre) pole, average light pattern will provide approximately 30 Lux (lumens per square metre) or 2.7 footc.  
Approximately 7-13 Lux is achieved at about 13' (4 metres) away, e.g. at the ground within the general illumination area.

High low illumination switch (set to High for maximum output or Low for 50% reduced output).  
Polarity protected circuitry.  
Power consumption at 12V DC is 1.5A / 18 Watts.  
LED life is typically 100,000 hours or equal to about 22 years.  
No bulb changes unlike other street lights.  
Removable LED circuit board with easy plug-in connectors.  
Integral battery box containing a 12V sealed lead acid Gel type, maintenance free, rechargeable battery.  
Stainless steel construction.  
Natural stainless steel finish.  
Custom colors by special order only.

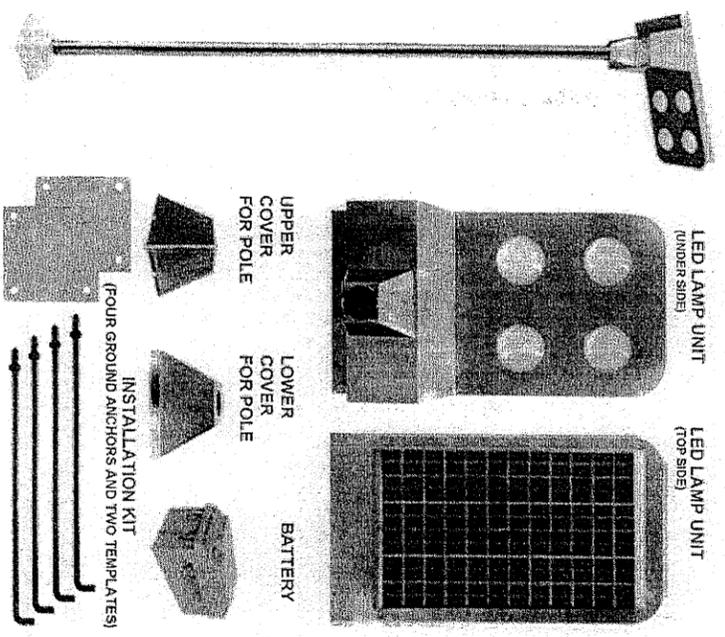
**SL03 Solar High-Lite Street Light (Complete With 13' Pole)**  
**TECHNICAL SPECIFICATIONS (CONTD.)**

**POST / POLE**  
Stainless steel pole with base unit to enable secure installation.  
Fixing bolts are included.  
Two templates for setting the fixing bolts into new wet concrete are included.  
The templates for aligning the anchors are approx. 12.5" x 12.5" (320mm x 320mm).  
The bolt pattern diagonal distance from one hole center to another is approx. 12.75" (323mm).  
The 4 pre-drilled holes on each template are approx. 3/4" (20mm) diameter.  
Typically at least 1 cubic yard of concrete is required (3' x 3' x 3').  
Pole height is 13' (4 metres).  
Custom height pole by special order only.  
Natural stainless steel finish.  
Custom colors by special order only.  
Typically the pole requires a concrete foundation of approximately 1 cubic yard (3' x 3' x 3'). The location, wind factor and ground condition will affect the size of the foundation required.  
Installation instructions are supplied.

**PHOTOMETRICS**  
336 LED lamp at 13' (4 metres)  
2016 Lumens at source, approximately.  
Approximate Lux distribution:  
At the base of the 13' (4 Metre) pole, 1 metre forward = 55 Lux, 4 metres forward = 19 Lux, 5 metres forward = 13 Lux, 6 metres forward = 9 Lux, 7 metres forward = 4 Lux.  
At the base of the 13' (4 Metre) pole, 1 metre to the left or 1 metre to the right = 50 Lux.  
2 metres left/right = 28 Lux, 3 metres left/right = 12 Lux, 4 metres left/right = 7 Lux, 5 metres left/right = 4 Lux, 6 metres left/right = 3 Lux, 7 metres left/right = 2 Lux

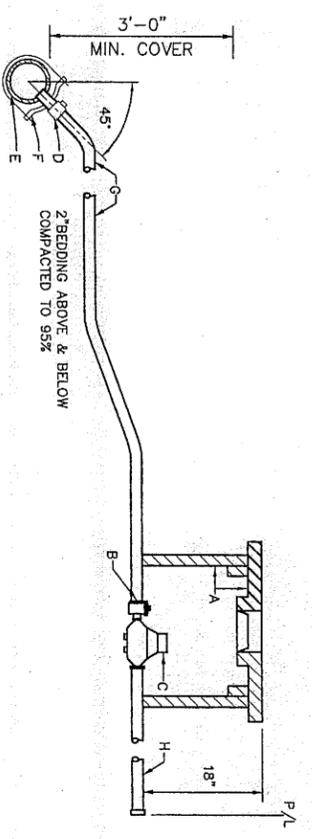
**ILLUMINATION PATTERN (LUX DISTRIBUTION)**  
55 Lux (lumens per square metre) at the base of pole.  
One square metre is approximately 3' x 3' or approximately 1521 square inches of area.  
For every 1 metre (3' 3") the Lux is 49, 32, 19, 13, 9 & 4 respectively.  
At approximately 7 metres (23'), central to the pole, there is 4 Lux at the ground.  
For every 1 metre (3' 3") the Lux is 50, 28, 12, 7, 4, 3 & 2 respectively, to the immediate left and immediate right side of the pole.  
At approximately 7 metres (23'), to the direct left and direct right side of the pole, there is 2 Lux at the ground.

**INTERCONNECTING CABLING**  
Connection wiring between the battery box, solar panel and lamp units included.



**SL03 Solar High-Lite Street Light (Complete With 13' Pole)**  
**TECHNICAL SPECIFICATIONS**

**GENERAL**  
Manufactured in an ISO9001:2000 Quality Assured facility.  
Operating voltage is 12 v. DC.  
Operating temperature -40 deg. F ~ 125 deg. F.  
Special control system to prevent over-charging and over-discharging.  
Generally, approximately 5 hours of strong direct sunshine will enable a full charge.  
Illumination time is up to 12 hours or more, generally dusk to dawn.  
Typically dusk to dawn illumination, subject to geographic location.  
Up to 3 successive cloudy or alternating overcast days typically will generally not affect illumination time, subject to geographic location.  
A photocell (light sensor) controls automatic on and off illumination, when required.  
Polished stainless steel material and construction.

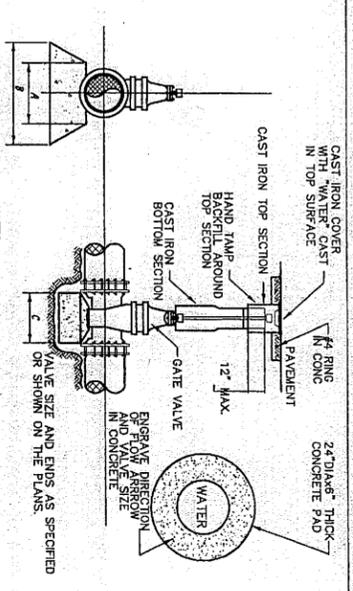


- GENERAL NOTES:**
1. WATER METER AND CAN TO BE PROVIDED BY TOWN OF SILVER CITY, INSTALLED BY CONTRACTOR.
  2. THE VALVE AND METER REGISTER BOX SHALL BE LOCATED UNDER THE LID OPENING.
  3. USE 3/4" TYPE 'K' COPPER FOR SERVICE LINE.

**CONSTRUCTION NOTES:**

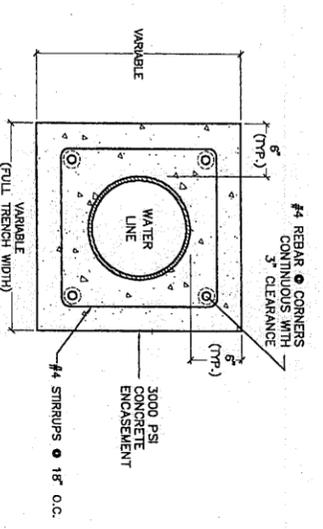
- A. METER BOX, COVER & LID
- B. LOCK WING CURB STOP
- C. METER, INSTALLED BY CONTRACTOR
- D. CORP STOP, BRASS
- E. MAIN WATER LINE
- F. DOUBLE STRAP TAPPING SADDLE
- G. SERVICE LINE, COPPER TYPE 'K';
- H. TAILPIECE TO P/L W/INSTANTITE L.P.T. CAPPED FITTING

**C1 TYPICAL WATER SERVICE LINE CONNECTION DETAIL**  
SCALE: N.T.S.



- VALVE SUPPORT TABLE**
- | VALVE SIZE | MIN. TRENCH WIDTH | MIN. TRENCH DEPTH |
|------------|-------------------|-------------------|
| 4"         | 10'               | 20'               |
| 6"         | 12'               | 22'               |
| 8"         | 14'               | 24'               |
| 10"        | 16'               | 26'               |
| 12"        | 18'               | 28'               |
- NOTES:**
1. VALVE BOX NOT TO REST ON OPERATING ASSEMBLY.
  2. PROVIDE ADEQUATE SUPPORT ON EACH SIDE OF PIPE.
  3. CENTER VALVE BOX ON AXIS OF OPER. NOT.
  4. VALVE BOX COVER SHALL BE A MINIMUM OF 4'-1/2" IN LENGTH.

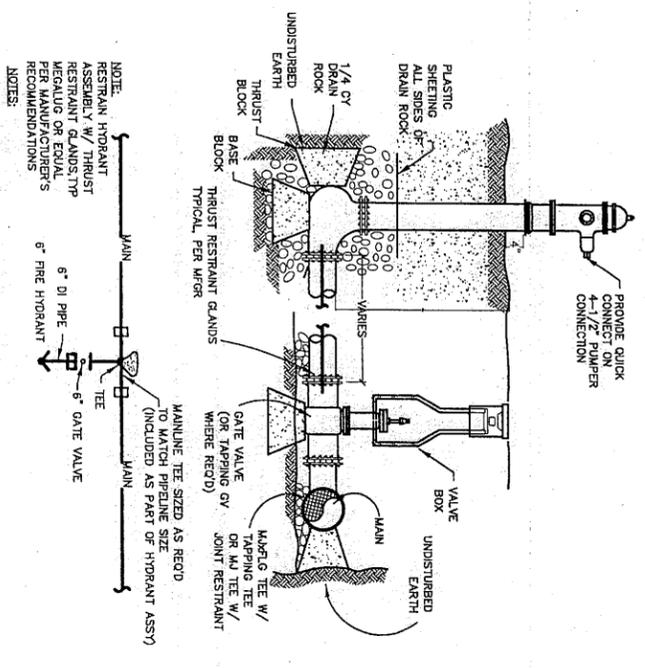
**D2 GATE VALVE AND VALVE BOX SETTING DETAIL**  
SCALE: N.T.S.



**GENERAL NOTES:**

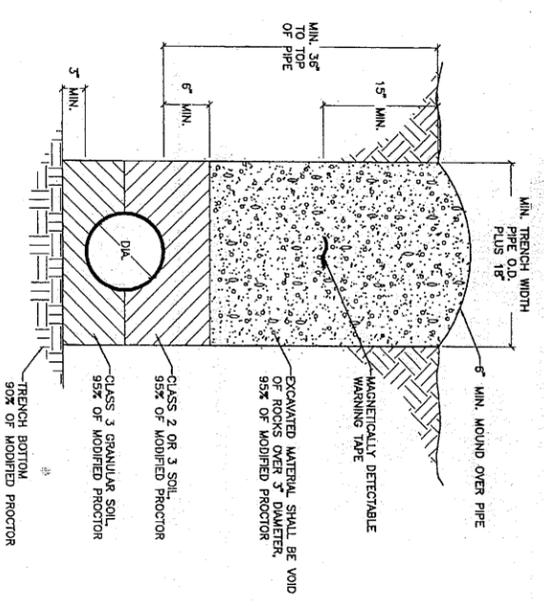
WHERE SHOWN ON THE PLANS, OR WHERE A WATER LINE PASSES BENEATH OR LESS THAN 18" ABOVE A SEWER LINE, THE SEWER LINE SHALL BE ENCASED IN CONCRETE 6" THICK AS DETAILED FOR A MINIMUM OF 10' ON EACH SIDE OF THE WATER LINE, OR THE SEWER LINE SHALL BE A FULL 20' LENGTH OF PVC PIPE CENTERED ON THE WATER LINE.

**B2 WATER LINE ENCASEMENT DETAIL**  
SCALE: N.T.S.

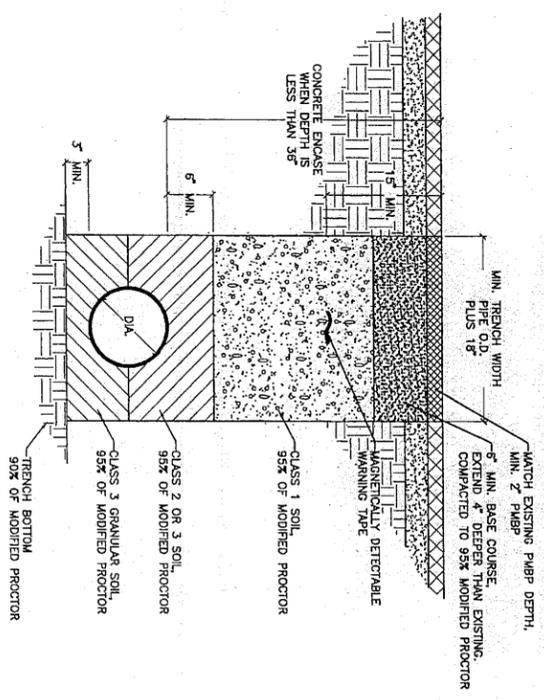


- NOTE:** RESTRAIN HYDRANT ASSEMBLY W/ THRUST RESTRAINT GLANDS/TYP REGALUG OR EQUAL PER MANUFACTURER'S RECOMMENDATIONS
- NOTES:**
1. INSTALLATION SHALL CONFORM TO AWMA C500.
  2. ANTI-VIBRY VALVE AND CONNECTING PIPE SHALL BE OF THE SAME SIZE AS THE HYDRANT BOTTOM CONNECTION.
  3. LAYING CONDITIONS AS SPECIFIED IN AWMA C800.
  4. BACKFILL AND SURFACE RESTORATION SHALL COMPLY WITH ALL APPLICABLE CITY, COUNTY, OR STATE REGULATIONS, AND AS DIRECTED BY OWNER.
  5. HYDRANT ASSEMBLY IS TO INCLUDE HYDRANT VALVE & BOX/PRE-TENSIONED JOINT RESTRAINT/DRAIN ROCK/CONC PAD, ETC TO PROVIDE COMPLETE ASSEMBLY

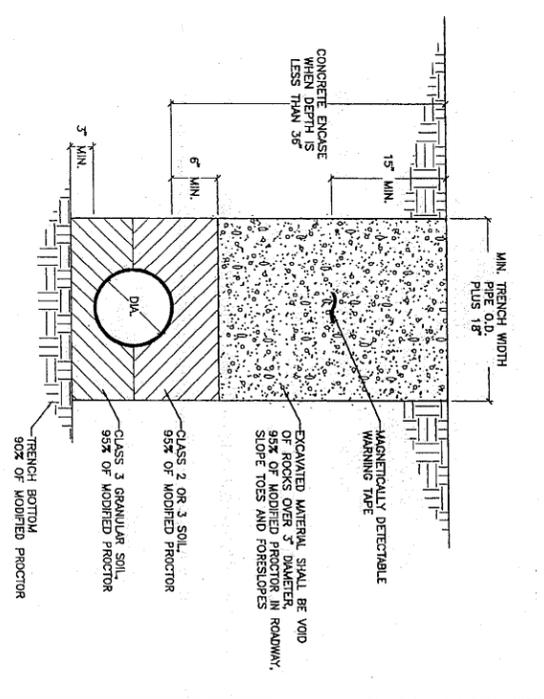
**A1 FIRE HYDRANT ASSEMBLY**  
SCALE: N.T.S.



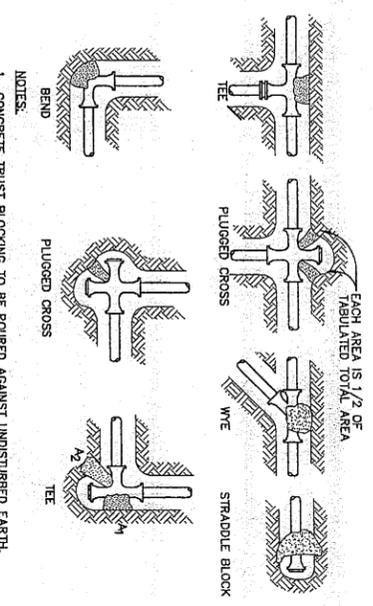
**STANDARD TRENCH**



**ROADWAY TRENCH**



**UNPAVED ROAD TRENCH**



- NOTES:**
1. CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
  2. KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES.
  3. THE REQUIRED THRUST BEARING AREAS FOR SPECIAL CONNECTIONS ARE SHOWN IN THE PLANS. (3) INDICATES 18 SQUARE FEET BEARING AREA REQUIRED.
  4. BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN ON THIS STANDARD DETAIL.
  5. THRUST BLOCK CONCRETE SHALL BE 3000 PSI, 4% TO 6% AIR ENTRAINMENT.

BEARING AREA OF THRUST BLOCKS IN SQ. FT.

FITTING SIZE	TEE WYE 90° BEND PLUGGED OR STRADDLE	TEE PLUGGED ON RUN	45° BEND	22-1/2° BEND	11-1/4° BEND
4	1.0	1.4	1.9	1.4	1.0
6	2.1	3.0	4.3	3.0	1.8
8	3.8	5.2	7.4	5.4	2.8
10	6.1	8.7	11.8	8.4	4.8
12	8.5	12.0	17.0	12.0	6.8

**NOTES:**

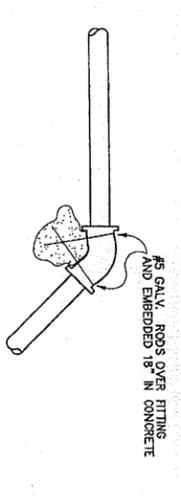
ABOVE BEARING AREAS BASED ON TEST PRESSURE OF 150 PSI, AND AN ALLOWABLE SOIL BEARING STRESS OF 2,000 POUNDS PER SQUARE FOOT. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURES AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION: VOLUME = (TEST PRESSURE / 150) X (TABLE VALUE).

**B3 THRUST BLOCK DETAILS**  
SCALE: N.T.S.

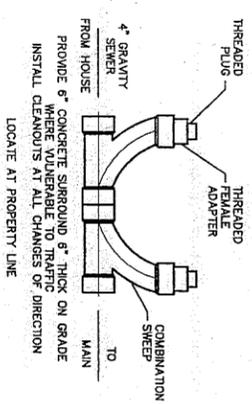
**NOTES:**

ABOVE VOLUMES BASED ON TEST PRESSURE OF 150 PSI, AND THE WEIGHT OF CONCRETE = 145 PCF. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURES, USE THE FOLLOWING EQUATION: VOLUME = (TEST PRESSURE / 150) X (TABLE VALUE).

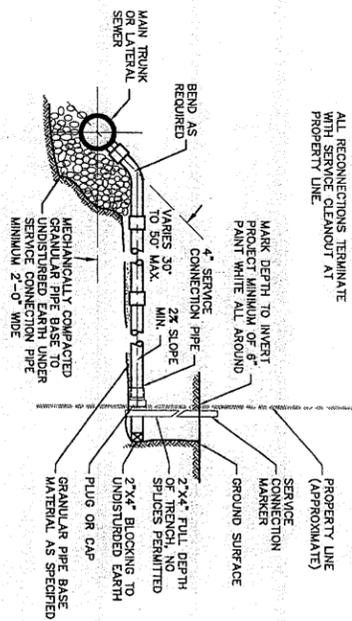
FITTING SIZE	90° BEND	45° BEND	22-1/2° BEND	11-1/4° BEND
4	1.3	1.1	1.1	1.1
6	2.3	1.8	1.8	1.8
8	3.7	2.8	2.8	2.8
10	5.5	4.2	4.2	4.2
12	8.2	6.3	6.3	6.3



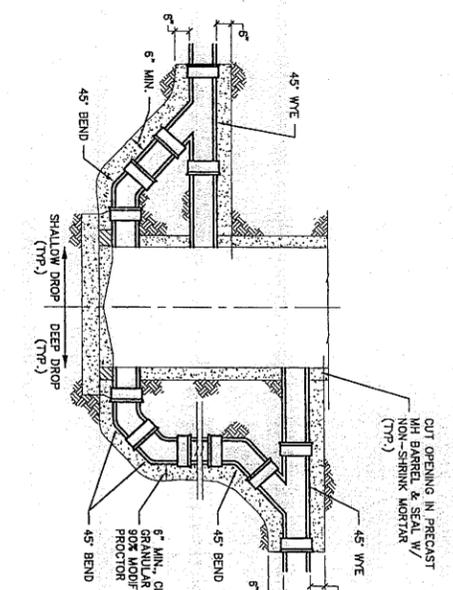
**VERTICAL DOWN-BENDS THRUST BLOCK**



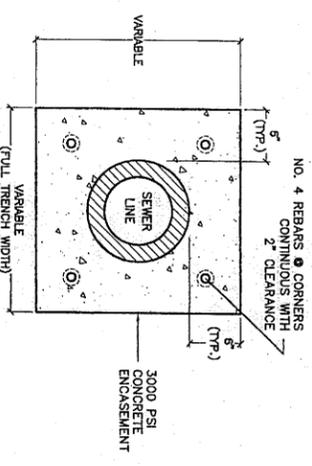
**D1** SEWER SERVICE CLEAN-OUT DETAIL  
NTS



**D2** TYPICAL SEWER SERVICE LINE CONNECTION DETAIL  
NTS

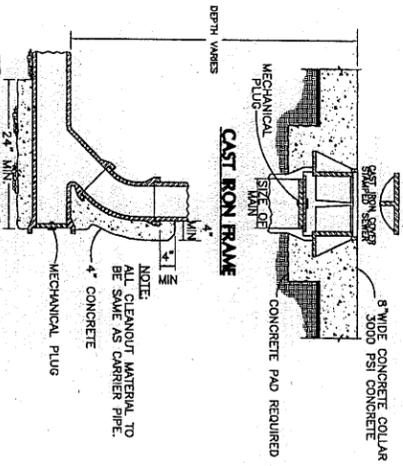


**D4** DROP MANHOLE  
NTS



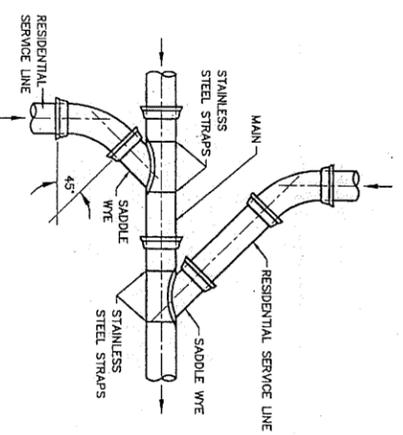
**B1** SEWER LINE ENCASUREMENT DETAIL  
NTS

**GENERAL NOTES:**  
WHERE SHOWN ON THE PLANS, OR WHERE A WATER LINE PASSES BENEATH OR LESS THAN 18\"/>

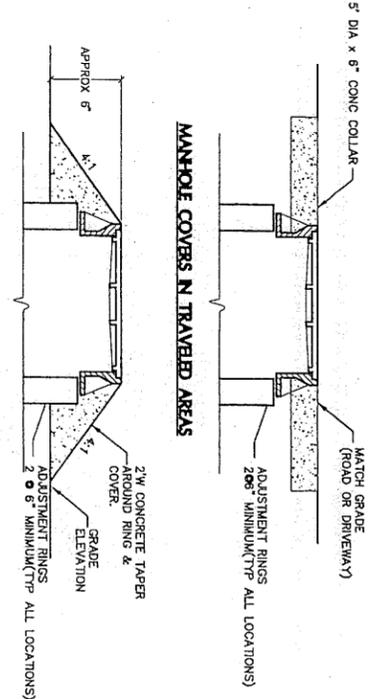


**B2** SEWER MAN CLEAN-OUT  
NTS

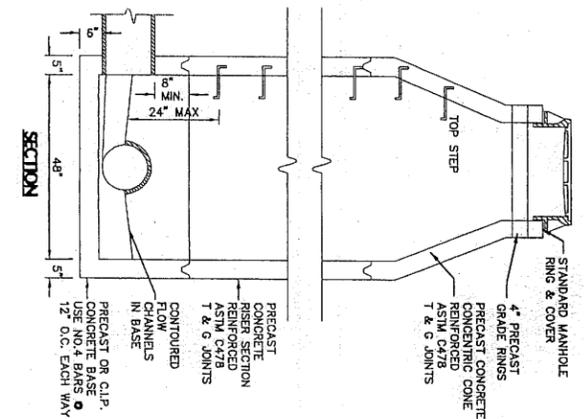
**NOTES:**  
1. PLACE A 6\"/>



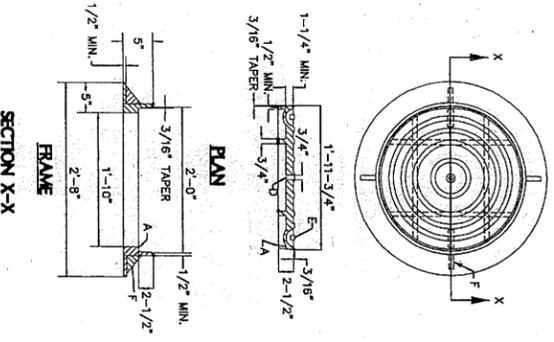
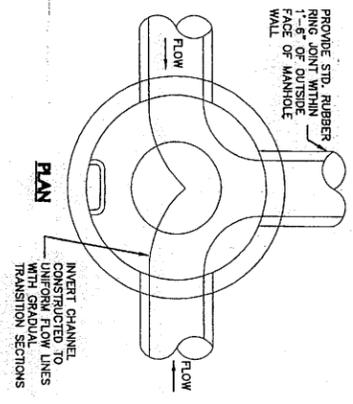
**A1** SEWER SERVICE TYPICAL DETAIL (PLAN VIEW)  
NTS



**A2** MANHOLE COVER DETAILS  
NTS



**A3** STANDARD MANHOLE DETAIL  
NTS



**GENERAL NOTES:**  
1. STANDARD CAST IRON M.H. FRAME AND COVER WEIGHTS: COVER=170 LBS., FRAME=140 LBS. TOTAL=325 LBS. (TOLERANCE=± 5%)

**CONSTRUCTION NOTES:**

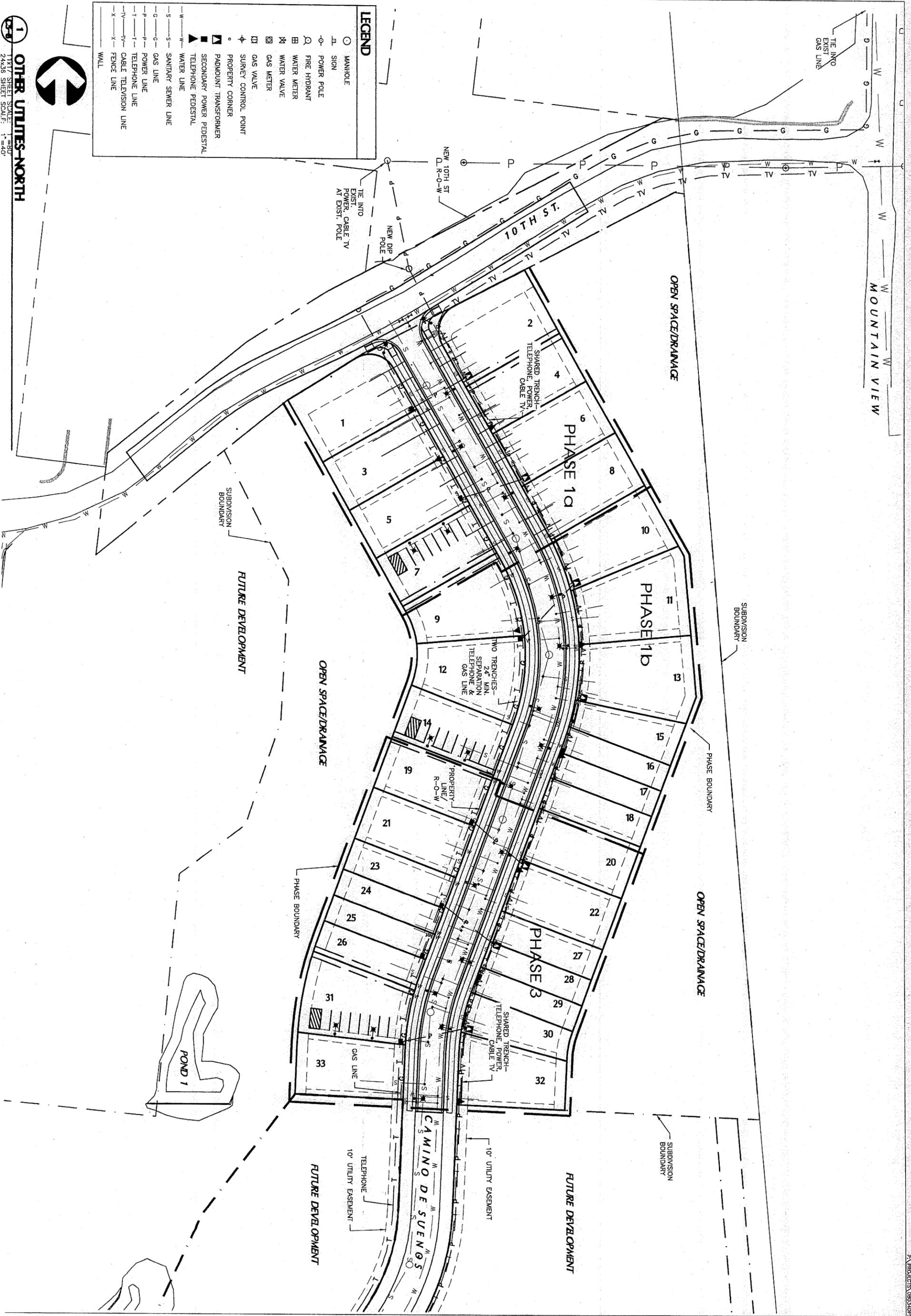
- A. MACHINED OR GROUND BEARING SURFACES.
- B. SEWER CAST ON COVER TO IDENTIFY SANITARY SEWER.
- C. LETTER SIZE TO BE 1\"/>

**LEGEND**

- MANHOLE
- △ SIGN
- POWER POLE
- FIRE HYDRANT
- ⊗ WATER METER
- ⊗ WATER VALVE
- ⊗ GAS METER
- ⊗ GAS VALVE
- ⊕ SURVEY CONTROL POINT
- PROPERTY CORNER
- ▣ PADMOUNT TRANSFORMER
- ▣ SECONDARY POWER PEDESTAL
- ▣ TELEPHONE PEDESTAL
- W WATER LINE
- S SANITARY SEWER LINE
- G GAS LINE
- P POWER LINE
- T TELEPHONE LINE
- TV CABLE TELEVISION LINE
- X FENCE LINE
- WALL



**1 OTHER UTILITIES - NORTH**  
 1"=30'  
 24x36 SHEET SCALE: 1"=40'



<p><b>OTHER UTILITIES - NORTH</b></p>	<p><b>WEBER ENGINEERING</b>        WEBERENG@SIGNALPEAK.NET        (575) 388-2082        P.O. BOX 5132        SILVER CITY, NM 88062</p>	<p><b>VISTAS DE PLATA AFFORDABLE HOUSING</b>        SILVER CITY, NEW MEXICO        TOWN OF SILVER CITY</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">DATE</td> <td style="width: 50%;">7/23/10</td> </tr> <tr> <td>REVISIONS</td> <td></td> </tr> </table>	DATE	7/23/10	REVISIONS	
DATE	7/23/10						
REVISIONS							

**C5-8**  
SHEET

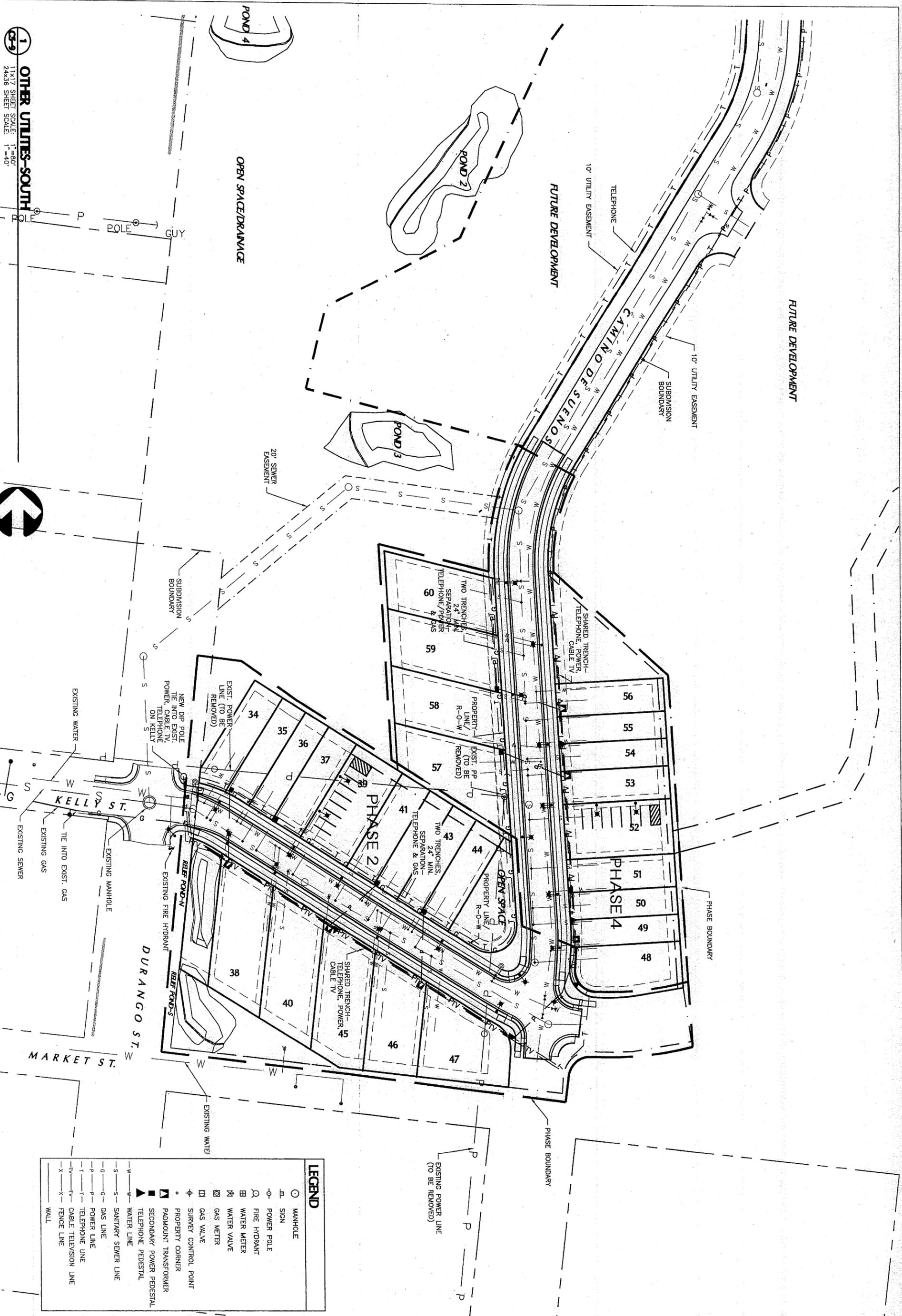
7/23/10
DATE
REVISIONS

VISTAS DE PLATA  
AFFORDABLE HOUSING  
SILVER CITY, NEW MEXICO  
TOWN OF SILVER CITY

WEBER ENGINEERING  
WEBERENG@SIGNALPEAK.NET  
(575) 388-2082  
P.O. BOX 5132  
SILVER CITY, NM 88062

OTHER UTILITIES - SOUTH

C5-9  
SHEET



OTHER UTILITIES-SOUTH  
11x17 SHEET SCALE: 1"=80'  
24x36 SHEET SCALE: 1"=40'

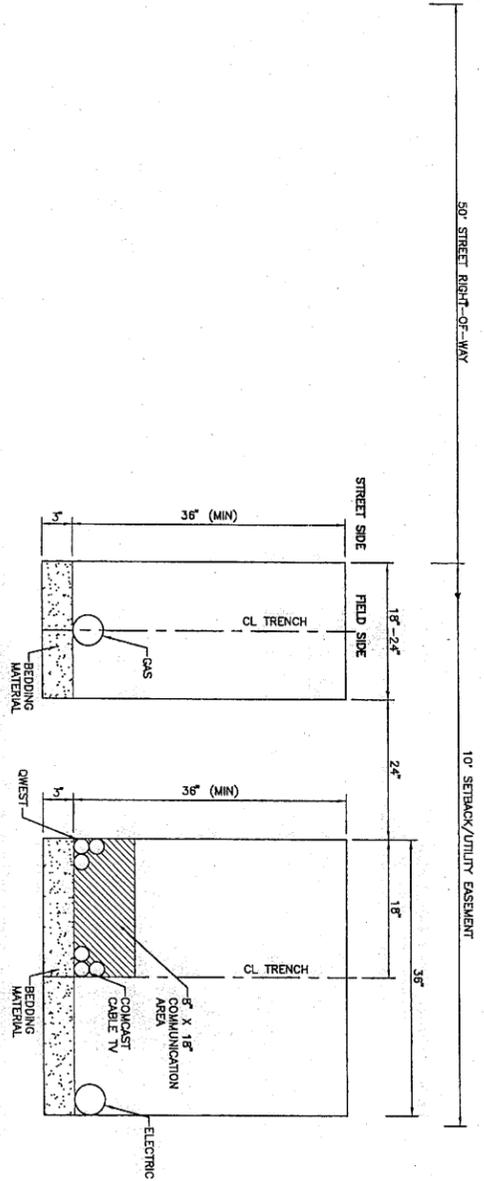


LEGEND	
○	MANHOLE
△	SIGN
⊙	POWER POLE
⊕	FIRE HYDRANT
⊗	WATER METER
⊘	WATER VALVE
⊙	GAS METER
⊕	GAS VALVE
⊙	SURVEY CONTROL POINT
○	PROPERTY CORNER
▣	PADMOUNT TRANSFORMER
▣	SECONDARY POWER PEDestal
▣	TELEPHONE PEDestal
—W—	WATER LINE
—S—	SANITARY SEWER LINE
—G—	GAS LINE
—P—	POWER LINE
—T—	TELEPHONE LINE
—TV—	CABLE TELEVISION LINE
—X—	FENCE LINE
—	WALL



1 SHARED UTILITY TRENCH  
C5-10 SCALE: N.T.S.

- P.M.V. TRENCHING NOTES:**
1. COMPACTION SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS.
  2. SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE AND TYPE IV, CLASS 2 FOR CABLE IN CONDUIT TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
  3. IF TRENCH-RUN MATERIAL MEETS BACKFILL MATERIAL TYPE REQUIREMENTS, 3" BEDDING MAY BE OMITTED PROVIDED THE TRENCH BOTTOM IS SMOOTH, FLAT AND WITHOUT SURFACE IRREGULARITIES.
  4. MAXIMUM CHANGE IN THE TRENCH BOTTOM ELEVATION SHALL NOT EXCEED 2" OVER A 10' LENGTH.
  5. SPOIL PILE SHALL BE PLACED ON THE FIELD SIDE A MINIMUM OF 2' FROM THE TRENCH EDGE.
  6. LATEST OSHA TRENCH SAFETY REQUIREMENTS SHALL BE STRICTLY OBSERVED.
  7. WHEN BRINGING CABLES TO PEDESTALS, 12" SEPARATION MUST BE MAINTAINED FROM THE GAS LINE.
  8. P.M.V. OWNED OR MAINTAINED STREETLIGHT CIRCUITS MAY BE INSTALLED IN TRENCH NEXT TO ELECTRIC CABLES.
  9. PRIVATE AREA LIGHTING OR PRIVATE STREETLIGHT CIRCUITS MUST MAINTAIN 12" SEPARATION FROM ALL OTHER JOINT OCCUPANTS.
  10. ALL PARTIES AGREE THAT 12" SEPARATION BETWEEN ELECTRIC AND COMMUNICATIONS MAY NOT BE MET WHEN TRANSITIONING UP TO TRANSFORMERS AND OR PEDESTALS.

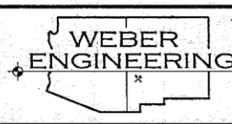


1 GAS TRENCH AND OTHER UTILITIES TRENCH  
C5-10 SCALE: N.T.S.

7/23/10	DATE
	REVISIONS

VISTAS DE PLATA  
AFFORDABLE HOUSING  
SILVER CITY, NEW MEXICO  
TOWN OF SILVER CITY

WEBERENG@SIGNALPEAK.NET  
(575) 388-2082  
P.O. BOX 5132  
SILVER CITY, NM 88062



OTHER UTILITY DETAILS  
TRENCHING DETAILS

C5-10  
SHEET